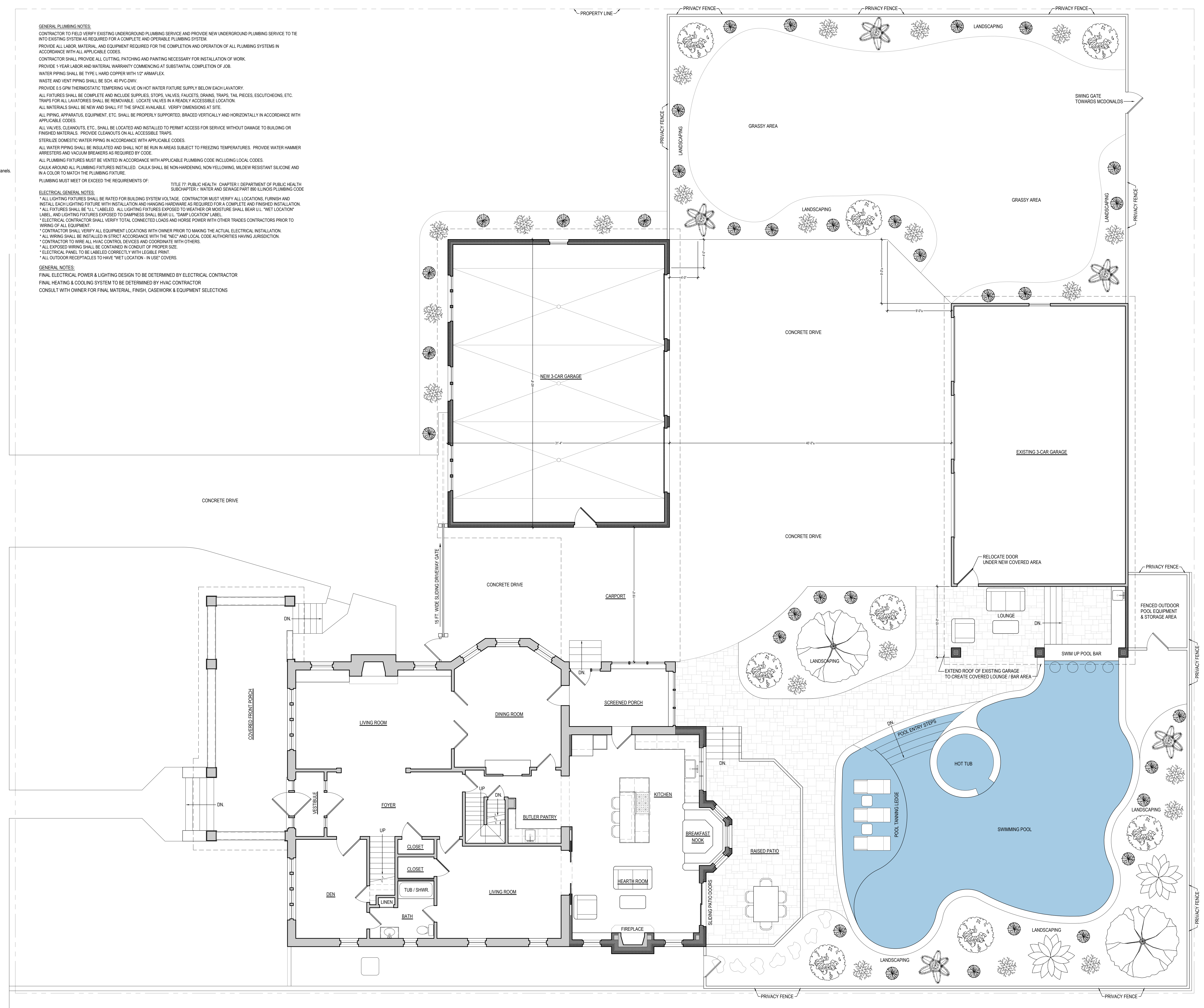


1603 - Design Loads per IBC 2009 Building Code
 Roof Dead Load 20 psf
 Live Load 20 psf
 Floor Dead Load 20 psf
 Live Load 40 psf
 Snow Load Information
 Ground Snow Load, Pg = 20 psf
 Flat Roof Snow Load, Pf = 16 psf
 Snow Exposure Factor, Ce = 1.0
 Snow Load Importance Factor, I = 1.0
 Thermal Factor, Ct = 1.1
 Wind Load Information
 Basic Wind Speed = 90 mph
 Wind Importance Factor, Iw = 1.0
 Wind Exposure C
 Internal Pressure Coefficient = +0.18, -0.18
 Component and cladding wind pressures in accord with IBC 2009
 Seismic Load Information
 Seismic Importance Factor, Ie = 1.0
 Mapped Spectral response Accelerations, Sa = 0.243 and S1 = 0.097
 Site Class D
 Spectral Response Coefficients, SDS = 0.253 and SD1 = 0.154
 Seismic Design Category C
 Basic Seismic-force-resisting System - Light Framed Walls with Wood Structural Panels
 Design Base Shear = 13 kips
 Seismic Response Coefficient, Ca = 0.042
 Response Modification Factor, R = 6.5
 Analysis Procedure - Equivalent Lateral Force Design Procedure
 1604 - Occupancy Category II
 1606 - Add foundation note after soil bearing capacity -
 Lateral Bearing Pressure = 100 psf. (assumed)

GENERAL NOTES
STRUCTURAL STEEL
 1. All structural steel rolled shapes shall be A992, minimum yield strength 50 ksi. Plates and angles shall be A36. Steel pipe shall be A501 or A53, types E or S, grade B. Structural tubing shall be ASTM A500, grade B.
 2. All steel work shall be in accordance with the AISC Specification for Structural Steel Buildings and the Code of Standard Practice. All welding shall be in accordance with AWS D1.1-94, the Structural Welding Code. Welding electrodes shall be E70XX Series.
 3. Connections not shown shall be designed by the fabricator for the capacity of the member as shown in the AISC Manual. All field connections shall utilize 3/4 in. dia. A325 bolts in bearing type connections with threads included in the shear plane. Shop connections may be welded or bolted using 3/4 in. A325 bolts.
FRAMING LUMBER
 1. Load Bearing 2x studs shall be Premium Grade White Wood or equal with the following design values:
 Fb = 1850 psi, Fc = 1850 psi, E = 1,700,000 psi

GENERAL PLUMBING NOTES
 CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND PLUMBING SERVICE AND PROVIDE NEW UNDERGROUND PLUMBING SERVICE TO THE PROPOSED SYSTEMS REQUIRED FOR A COMPLETE AND OPERABLE PLUMBING SYSTEM.
 PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL PLUMBING SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE CODES.
 CONTRACTOR SHALL PROVIDE ALL CUTTING, PATCHING AND PAINTING NECESSARY FOR INSTALLATION OF WORK.
 PROVIDE 1-YEAR LABOR AND MATERIAL WARRANTY COMMENCING AT SUBSTANTIAL COMPLETION OF JOB.
 WATER PIPING SHALL BE TYPE L HARD COPPER WITH 1/2" ANNEAL-FLEX.
 WASTE AND VENT PIPING SHALL BE SCH. 40 PVC-DWV.
 PROVIDE 0.5 GPM THERMOSTATIC TEMPERING VALVE ON HOT WATER FIXTURE SUPPLY BELOW EACH LAVATORY.
 ALL FIXTURES SHALL BE COMPLETE AND INCLUDE SUPPLIES, STOPS, VALVES, FAUCETS, DRAINS, TRAPS, TAIL PIECES, ESCUTCHEONS, ETC.
 TRAPS FOR ALL LAVATORIES SHALL BE REMOVABLE. LOCATE VALVES IN A READILY ACCESSIBLE LOCATION.
 ALL MATERIALS SHALL BE NEW AND SHALL FIT THE SPACE AVAILABLE. VERIFY DIMENSIONS AT SITE.
 ALL PIPING, APPARATUS, EQUIPMENT, ETC. SHALL BE PROPERLY SUPPORTED, BRACED VERTICALLY AND HORIZONTALLY IN ACCORDANCE WITH APPLICABLE CODES.
 ALL VALVES, CLEANOUTS, ETC. SHALL BE LOCATED AND INSTALLED TO PERMIT ACCESS FOR SERVICE WITHOUT DAMAGE TO BUILDING OR FINISHED MATERIALS. PROVIDE CLEANOUTS ON ALL ACCESSIBLE TRAPS.
 STERILIZE DOMESTIC WATER PIPING IN ACCORDANCE WITH APPLICABLE CODES.
 ALL WATER PIPING SHALL BE INSULATED AND SHALL NOT BE RUN IN AREAS SUBJECT TO FREEZING TEMPERATURES. PROVIDE WATER HAMMER ARRESTERS AND VACUUM BREAKERS AS REQUIRED BY CODE.
 ALL PLUMBING FIXTURES MUST BE VENTED IN ACCORDANCE WITH APPLICABLE PLUMBING CODE INCLUDING LOCAL CODES.
 CAULK AROUND ALL PLUMBING FIXTURES INSTALLED. CAULK SHALL BE NON-HARDENING, NON-YELLOWING, MILDEW RESISTANT SILICONE AND IN A COLOR TO MATCH THE PLUMBING FIXTURE.
 PLUMBING MUST MEET OR EXCEED THE REQUIREMENTS OF:
 TITLE 77: PUBLIC HEALTH CHAPTER I: DEPARTMENT OF PUBLIC HEALTH SUBCHAPTER I: WATER AND SEWAGE PART 890 ILLINOIS PLUMBING CODE

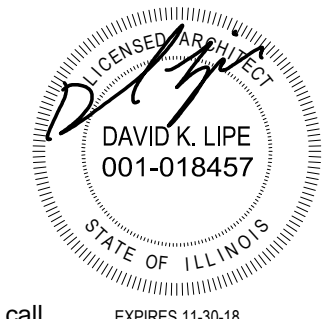
ELECTRICAL GENERAL NOTES
 * ALL LIGHTING FIXTURES SHALL BE RATED FOR BUILDING SYSTEM VOLTAGE. CONTRACTOR MUST VERIFY ALL LOCATIONS, FINISH AND INSTALL EACH LIGHTING FIXTURE WITH INSTALLATION AND HANGING HARDWARE AS REQUIRED FOR A COMPLETE AND FINISHED INSTALLATION.
 * ALL FIXTURES SHALL BE "UL" LABELED. ALL LIGHTING FIXTURES EXPOSED TO WEATHER OR MOISTURE SHALL BEAR "UL" "WET LOCATION" LABEL AND LIGHTING FIXTURES EXPOSED TO DAMPNESS SHALL BEAR "UL" "DAMP LOCATION" LABEL.
 * ELECTRICAL CONTRACTOR SHALL VERIFY TOTAL CONNECTED LOADS AND HORSE POWER WITH OTHER TRADES CONTRACTORS PRIOR TO WIRING OF ALL EQUIPMENT.
 * CONTRACTOR SHALL VERIFY ALL EQUIPMENT LOCATIONS WITH OWNER PRIOR TO MAKING THE ACTUAL ELECTRICAL INSTALLATION.
 * ALL WIRING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE NEC AND LOCAL CODE AUTHORITIES HAVING JURISDICTION.
 * CONTRACTOR TO WIRE ALL HVAC CONTROL DEVICES AND COORDINATE WITH OTHERS.
 * ALL EXPOSED WIRING SHALL BE CONTAINED IN CONDUIT OF PROPER SIZE.
 * ELECTRICAL PANEL TO BE LABELED CORRECTLY WITH LEGIBLE PRINT.
 * ALL OUTDOOR RECEPTACLES TO HAVE "WET LOCATION" IN-USE COVERS.
GENERAL NOTES
 FINAL ELECTRICAL POWER & LIGHTING DESIGN TO BE DETERMINED BY ELECTRICAL CONTRACTOR
 FINAL HEATING & COOLING SYSTEM TO BE DETERMINED BY HVAC CONTRACTOR
 CONSULT WITH OWNER FOR FINAL MATERIAL, FINISH, CASEWORK & EQUIPMENT SELECTIONS



INDEX OF SHEETS

A0	SITE PLAN - PROPOSED & COVER SHEET
A1	BASEMENT PLAN - EXISTING / DEMO.
A2	BASEMENT PLAN - PROPOSED
A3	1ST FLOOR PLAN - EXISTING / DEMO.
A4	1ST FLOOR PLAN - PROPOSED
A5	2ND FLOOR PLAN - EXISTING / DEMO.
A6	2ND FLOOR PLAN - PROPOSED
A7	3RD FLOOR PLAN - EXISTING / DEMO.
A8	3RD FLOOR PLAN - PROPOSED
A9	ROOF PLAN - EXISTING / DEMO.
A10	ROOF PLAN - PROPOSED
A11	EAST ELEVATIONS - EXISTING & PROPOSED
A12	SOUTH ELEVATIONS - EXISTING & PROPOSED
A13	NORTH ELEVATIONS - EXISTING & PROPOSED
A14	WEST ELEVATIONS - EXISTING & PROPOSED

1 SITE PLAN - PROPOSED
 A0 SCALE: 3/16" = 1'-0"



LIPE ARCHITECTURE
 www.lipe-architecture.com 603 School Street
 217-563-7836 phone Nokomis, IL
 62075

Jim & Kelly Hewitt - House Addition & Remodel
 206 W. Tremont St., Hillboro, IL 62049

PROJ. NO.: 1801
 DATE: 02-26-18
A0

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GENERAL DEMOLITION NOTES

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2. Removal of existing walls, ceiling finishes, doors, frames, structure, concrete, sub-grade structures, equipment and other items indicated.
3. Disconnecting and removing any existing utilities or services required.
4. Removal of all debris.

General Contractor shall do all demolition, cutting, patching, removal of walls, wall facings, etc., indicated, specified or both. It shall be the general contractor's responsibility to examine all drawings and to become personally familiar with the requirements of all trades as to the extent of the cutting and patching that will be necessary in all areas in addition to those shown on the architectural plans.

It shall be the general contractor's responsibility to personally visit the site to determine the locations and extent of existing partitions, walls, built-in items, nature of existing materials, finishes, and other conditions affecting the work.

In general, all necessary cutting & patching shall be done by the general contractor. All areas shall be patched with the same material as removed or with new materials indicated. Finishes shall be verified by the Contractor at job site.

Provide temporary partition barriers to prohibit public entering areas to be remodeled.

Maintain all required fire exits and lanes, erect and maintain barriers, fences, rails, guards, lighting, etc. as required by federal, state and local laws and regulations to protect personnel and to ensure safety for the public.

The general contractor shall exercise care to protect the existing building from damage, and shall replace and repair at no additional cost to the Owner, damage that he may cause.

Take precautions to guard against movement or settlement, provide bracing or shoring as necessary, be responsible for safety, support of existing structure, be liable for any such movement or settlement, any damage or injury caused thereby or resulting therefrom.

Any damage to lawns, shrubbery, curbs, drives, walks, etc., shall be restored to their original condition.

When encountered in work or as indicated, protect existing active utility services, where required for proper execution of work, relocate them as directed.

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Coordinate and schedule with Owner to provide for minimum inconvenience and disturbance.

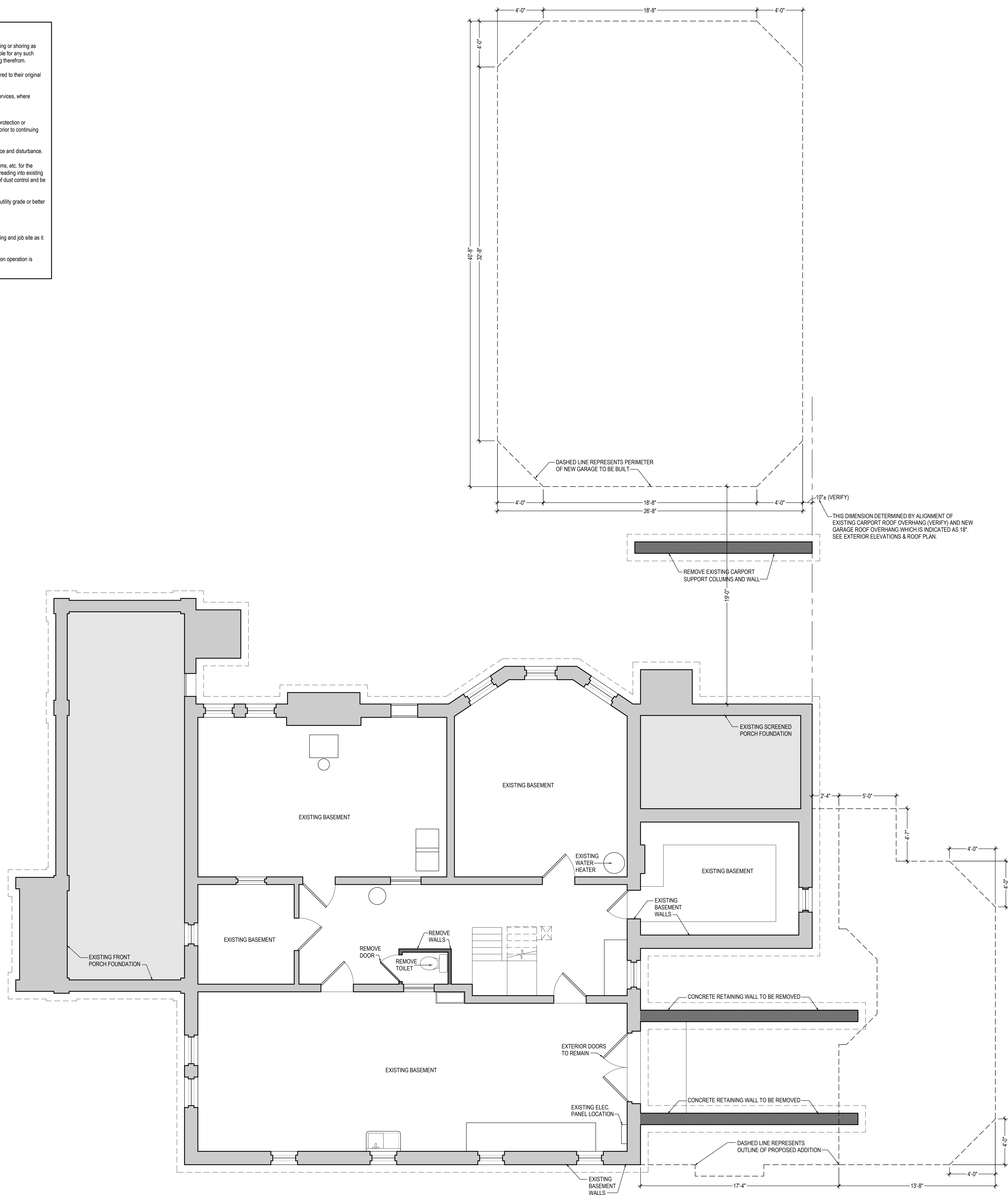
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Unless otherwise specifically approved, use only new and solid lumber of utility grade or better to construct temporary barriers.

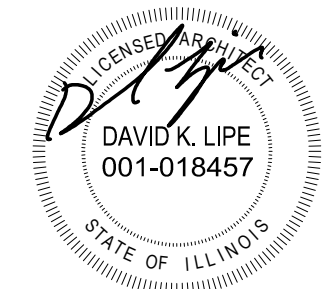
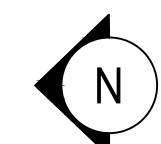
Any salvageable items shall remain the property of the Owner.

All debris, waste and excessive materials shall be removed from the building and job site as it accumulates and be legally disposed of.

Remove all tools, materials, structures, and equipment after each demolition operation is completed.



1 BASEMENT PLAN - EXISTING / DEMOLITION
A1 SCALE: 1/4" = 1'-0"



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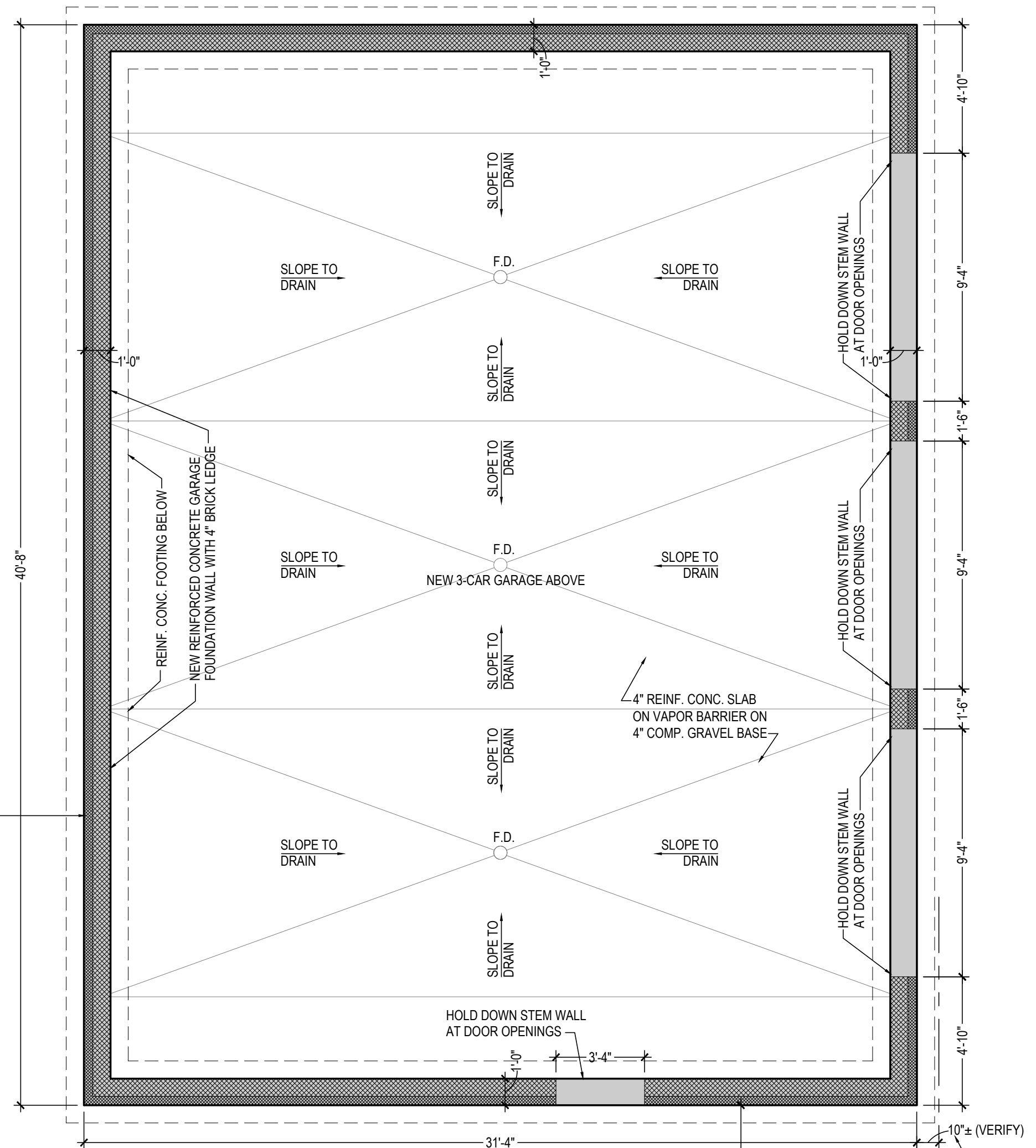
NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

BASEMENT PLAN - EXISTING / DEMOLITION REVISED DRAWINGS (02/26/18)	PROJ. NO.: 1801 DATE: 02-26-18
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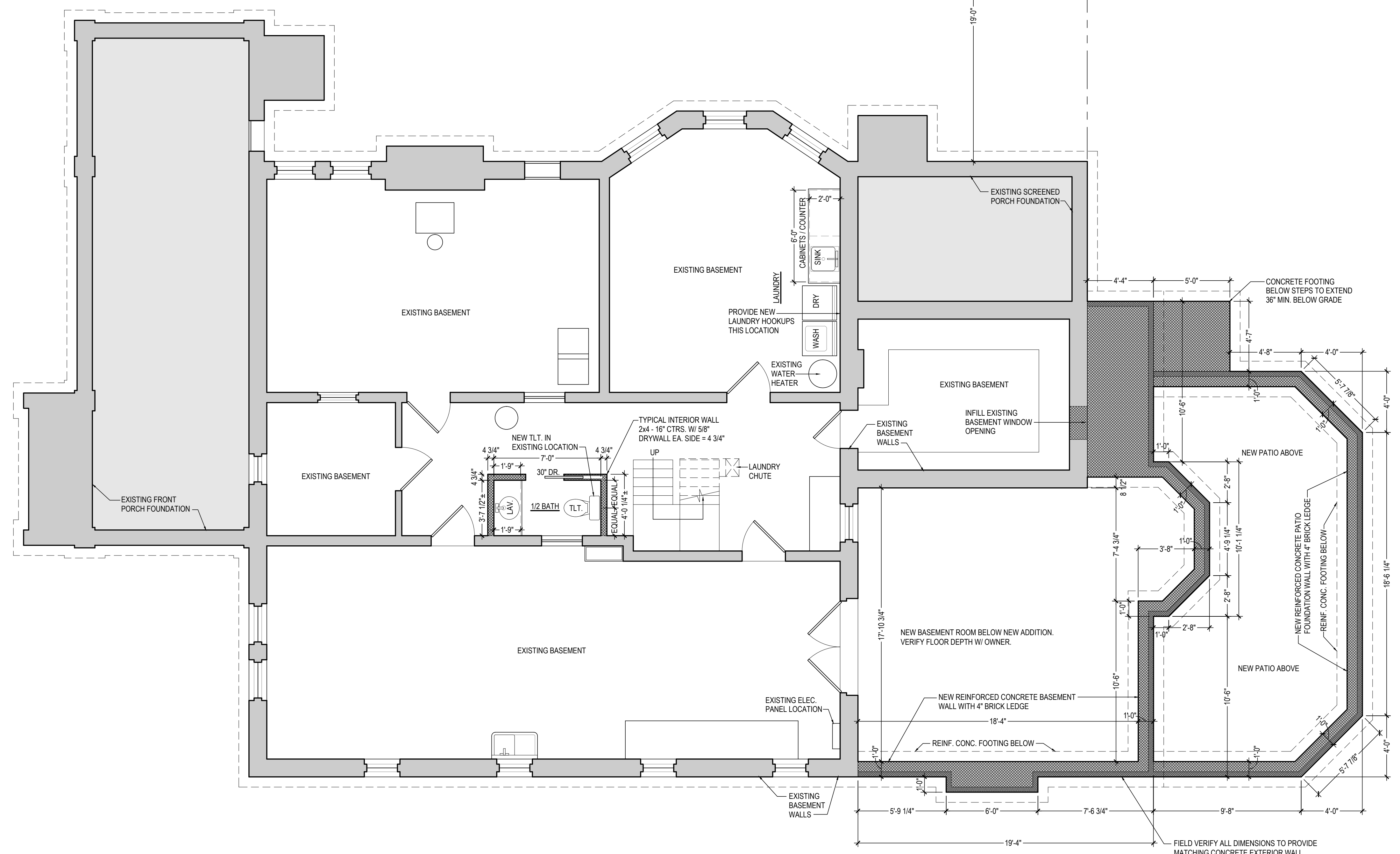
Jim & Kelly Hewitt - House Addition & Remodel
206 W. Tremont St., Hillsboro, IL 62049

A1

FIELD VERIFY ALL DIMENSIONS TO PROVIDE MATCHING CONCRETE EXTERIOR WALL BASE. SEE TYPICAL NEW EXTERIOR WALL SECTION DRAWING 2/A4 FOR SIMILAR BASE CONDITION.



THIS DIMENSION DETERMINED BY ALIGNMENT OF EXISTING CARPORT ROOF OVERHANG (VERIFY) AND NEW GARAGE ROOF OVERHANG WHICH IS INDICATED AS 18'. SEE EXTERIOR ELEVATIONS & ROOF PLAN.



CONCRETE NOTES:

THE CONTRACTOR SHALL VERIFY THE ADEQUACY OF ALL BEARING MATERIAL BEFORE PLACING FOOTINGS AND SHALL PLACE ALL FOUNDATIONS ON UNDISTURBED SOIL OF ADEQUATE CAPACITY.

FOOTINGS MAY BE POURED INTO AN EARTH-FORMED TRENCH IF SOIL CONDITIONS PERMIT.

WHERE FOUNDATION WALLS ARE TO HAVE EARTH PLACED ON EACH SIDE, PLACE FILL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.

VERIFY THE USE AND EXTENT OF PERIMETER INSULATION WITH THE ARCHITECTURAL DRAWINGS PRIOR TO THE INSTALLATION OF FOUNDATIONS. INSTALL PERIMETER INSULATION AS REQUIRED.

ALL CONCRETE SHALL BE 4,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. ALL CONCRETE EXPOSED TO FREEZING WEATHER SHALL BE AIR-ENTRAINED, 6% ± 1%. ALL CONCRETE WORK SHALL BE AS PER ACI 318-05, BUILDING CODE FOR REINFORCED CONCRETE AND THE CRSI MANUAL OF STANDARD PRACTICE.

ALL REINFORCEMENT SHALL BE A615, GRADE 60, WELDED WIRE FABRIC SHALL BE A185. BAR CLEARANCES SHALL BE AS FOLLOWS: FOOTINGS - 3", WALLS AND COLUMNS - 1 1/2", SLAB-ON-GRADE - MID-DEPTH.

REINFORCEMENT SHALL BE LAPPED 24 BAR DIAMETER, 1-6" MINIMUM, OR AS DETAILED. L-BARS 1 1/2" x 1 1/2" SHALL BE PROVIDED AT CORNERS TO MATCH THE HORIZONTAL REINFORCEMENT.

FOOTING REINFORCEMENT SHALL BE SUPPORTED ON HIGH CHAIRS OR SAND PLATES. NO BRICKS OR REBAR PERMITTED. DOWELS SHALL BE TIED TO FOOTING MAT. DOWELS SHALL NOT BE FLOATED IN.

BAR SUPPORTS AND ACCESSORIES SHALL BE IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICES FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315-92).

CONTRACTOR SHALL MAKE ALLOWANCE FOR DEAD LOAD DEFLECTION, SETTLEMENT OF FORMS, AND SHRINKAGE OF CONCRETE WHEN CONSTRUCTING OF CONCRETE WORK.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUACY OF ALL FORMS, SHORING, BRACING, ETC., USED IN CONSTRUCTION OF CONCRETE WORK.

ALL FOOTINGS EXCAVATIONS SHALL BE FREE OF DEBRIS, STANDING WATER AND LOOSE SOIL PRIOR TO PLACEMENT OF CONCRETE.

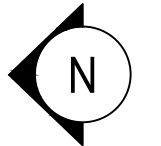
FOOTING CONCRETE SHALL NOT BE PLACED ON FROZEN SOIL.

EXCAVATIONS THAT BECOME MUDDY AND SOFT DUE TO CONSTRUCTION ACTIVITY SHALL HAVE A LEAN CONCRETE MUD SLAB OR GRAVEL PLACED IN THE EXCAVATION TO PROVIDE ACCEPTABLE BEARING. MUD SLAB OR GRAVEL SHALL BE INSPECTED AND APPROVED BY A SOILS ENGINEER.

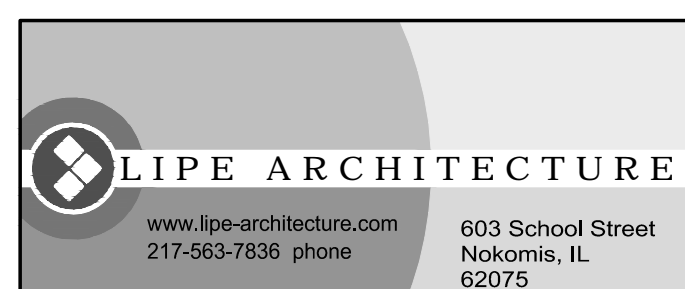
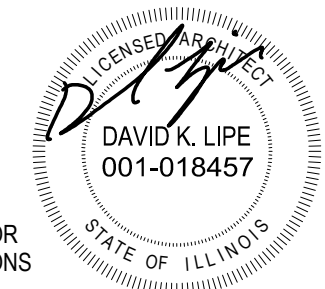
CONTINUOUS WALL FOOTING REINFORCING SHALL BE PLACED CONTINUOUS THROUGH ISOLATED PIER FOOTINGS.

ALL FOOTINGS TO EXTEND A MINIMUM OF 36" BELOW GRADE FOR FROST PROTECTION.

1 A2 BASEMENT PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



HEATING & COOLING SYSTEM TO BE DETERMINED BY HVAC CONTRACTOR
ELECTRICAL POWER & LIGHTING DESIGN TO BE DETERMINED BY ELECTRICAL CONTRACTOR
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BASEMENT PLAN - PROPOSED
REVISED DRAWINGS (02/26/18)
Jim & Kelly Hewitt - House Addition & Remodel
206 W. Tremont St., Hillboro, IL 62049

PROJ. NO.: 1801
DATE: 02-26-18

A2

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EXPLRES 11-30-18

GENERAL DEMOLITION NOTES

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Provide temporary partition barriers to prohibit public entering areas to be remodeled.

Maintain all required fire exits and lanes, erect and maintain barriers, fences, rails, guards, lighting, etc., as required by federal, state and local laws and regulations to protect personnel and to ensure safety for the public.

The general contractor shall exercise care to protect the existing building from damage, and shall replace and repair at no additional cost to the Owner, damage that he may cause.

Take precautions to guard against movement or settlement, provide bracing or shoring as necessary, be responsible for safety, support of existing structure, be liable for any such movement or settlement, any damage or injury caused thereby or resulting therefrom.

Any damage to lawns, shrubbery, curbs, drives, walks, etc., shall be restored to their original condition.

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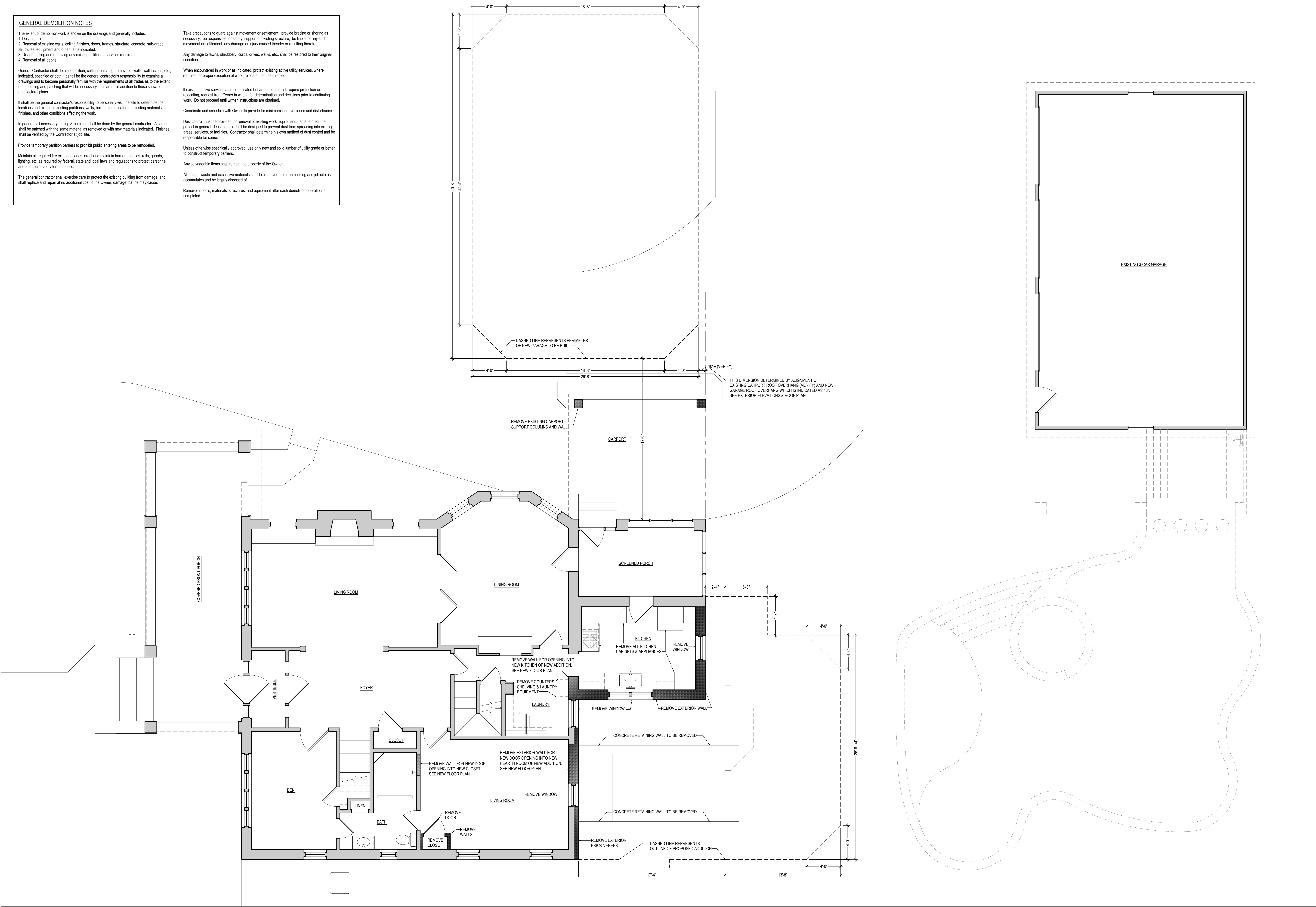
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Unless otherwise specifically approved, use only new and solid lumber of utility grade or better to construct temporary barriers.

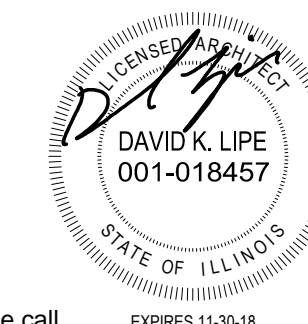
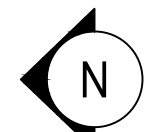
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Remove all tools, materials, structures, and equipment after each demolition operation is completed.



1 1ST FLOOR PLAN - EXISTING / DEMOLITION
 A3 SCALE: 1/4" = 1'-0"



LIPE ARCHITECTURE
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 217-563-7536 phone
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 62075

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

1ST FLOOR PLAN - EXISTING / DEMOLITION
 REVISED DRAWINGS (02/26/18)

PROJ. NO.: 1801
 DATE: 02-26-18

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A3

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EPRES 11-30-18

NEW BRICK VENEER. MATCH EXISTING BRICK IN COLOR, TEXTURE, BOND PATTERN, MORTAR COLOR & RAKE. STAIN NEW BRICK IF NECESSARY TO IMPROVE MATCH.

THIS IS JUST A SUGGESTED EXTERIOR WALL SECTION TO SHOW WHAT IS INDICATED ON THE FLOOR PLAN. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND MODIFY WALL SECTION AS NECESSARY.

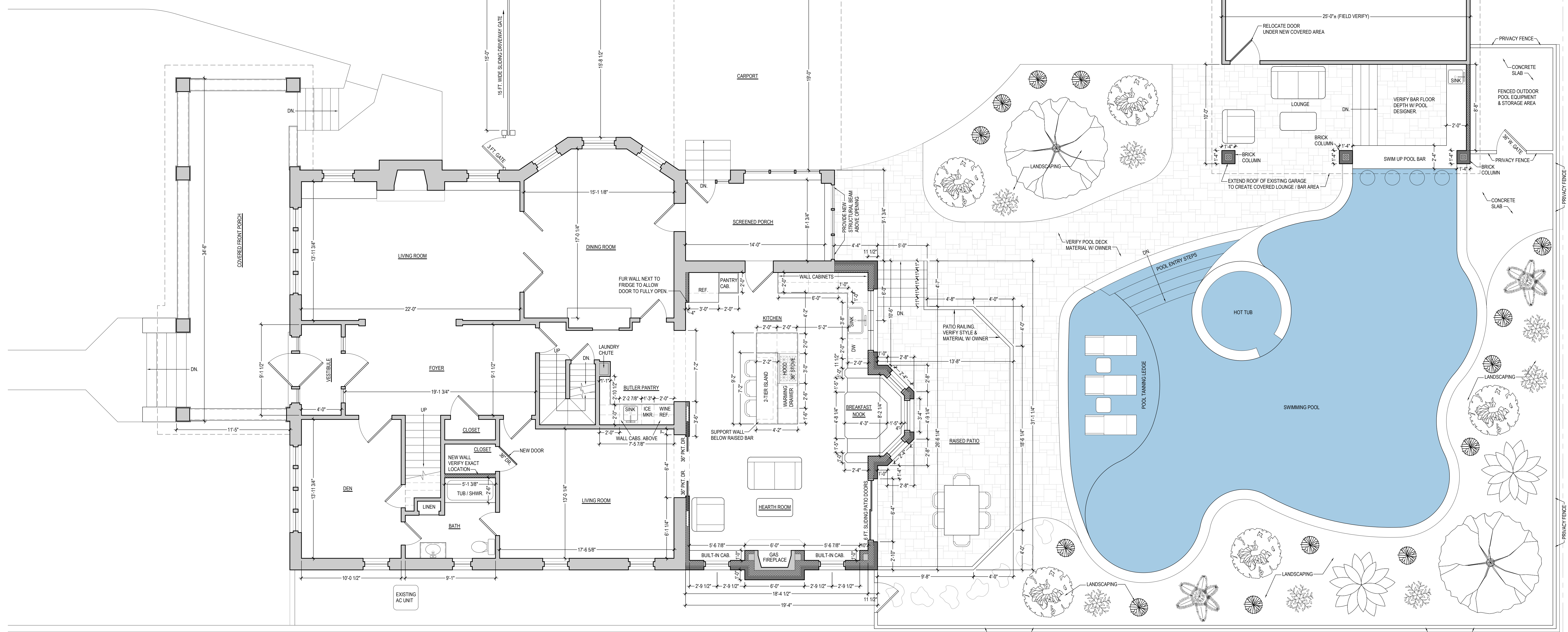
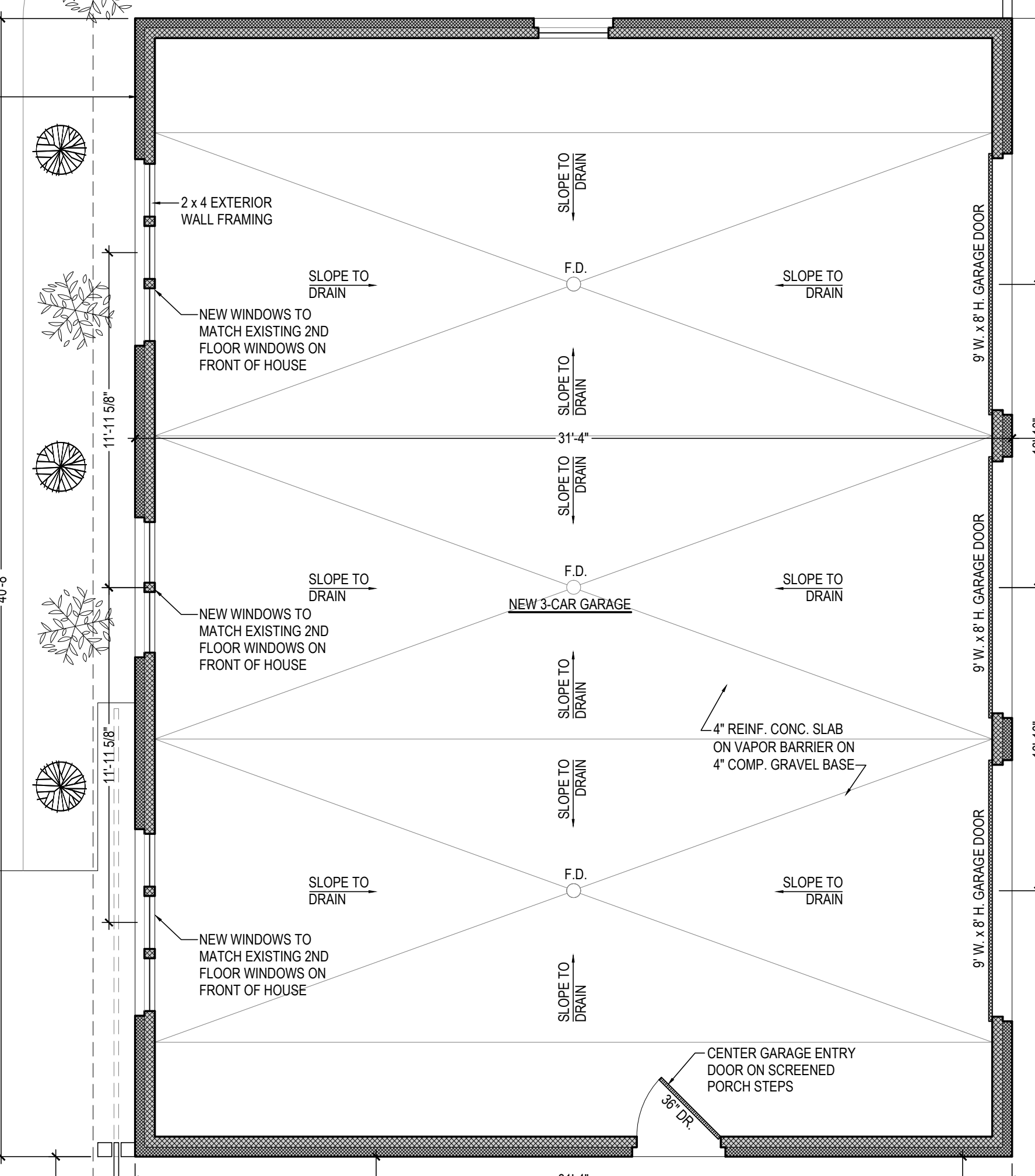
FIELD VERIFY ALL DIMENSIONS TO PROVIDE MATCHING CONCRETE EXTERIOR WALL BASE

APPROXIMATE GRADE

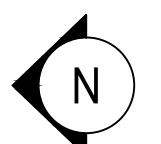
BASEMENT

2
A4
TYPICAL NEW EXTERIOR WALL SECTION
SCALE: 3/4" = 1'-0"

NEW BRICK VENEER. MATCH EXISTING BRICK IN COLOR, TEXTURE, BOND PATTERN, MORTAR COLOR & RAKE. STAIN NEW BRICK IF NECESSARY TO IMPROVE MATCH.

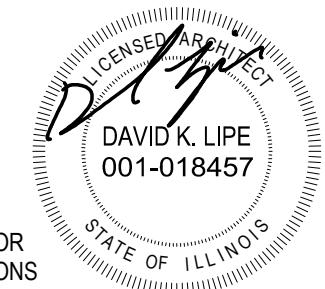


1
A4
1ST FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



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1ST FLOOR PLAN - PROPOSED
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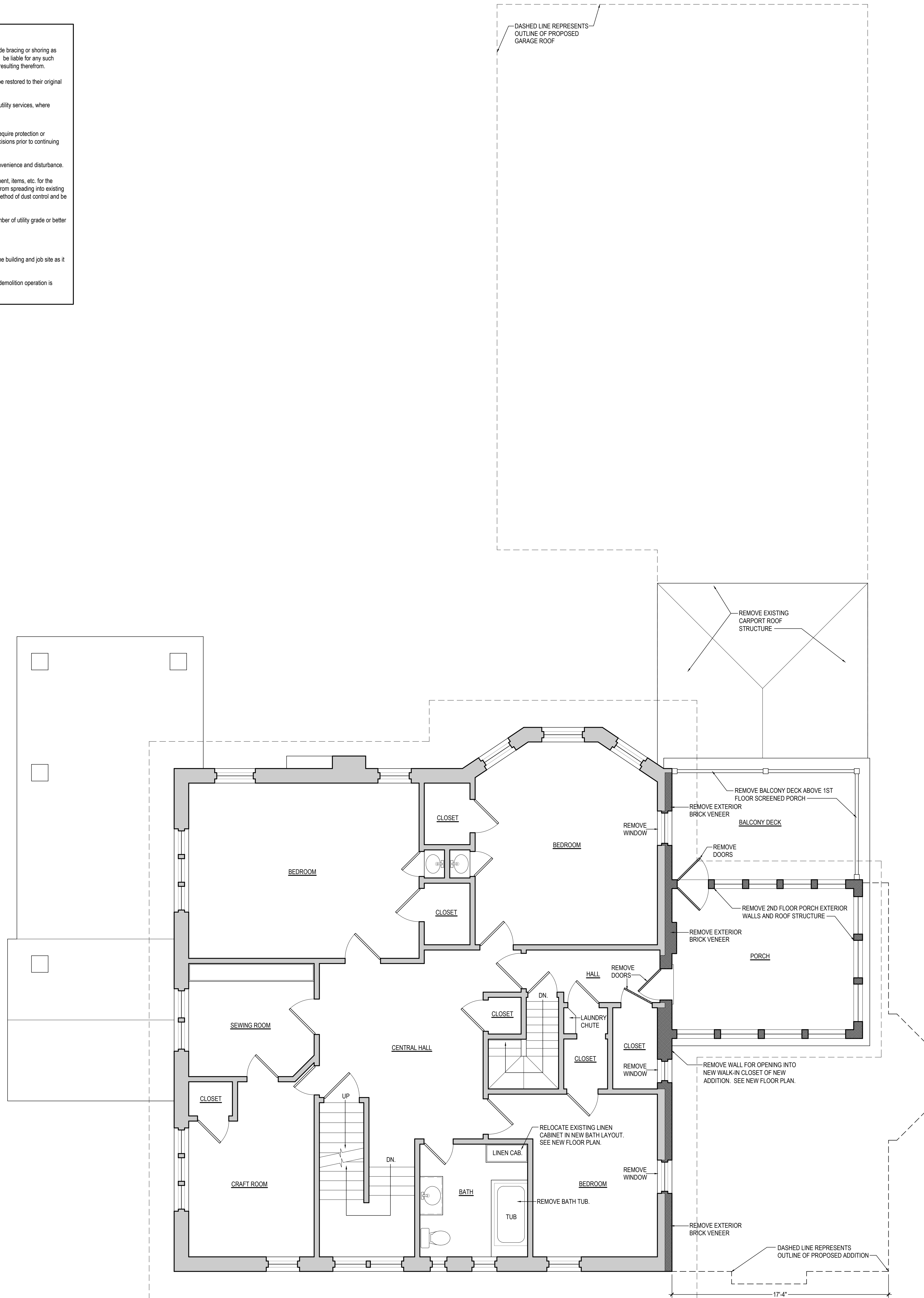
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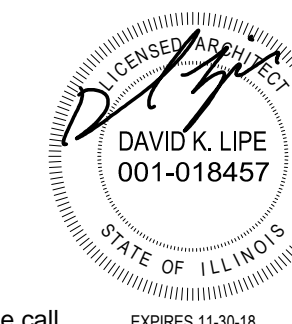
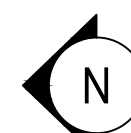
All debris, waste and excessive materials shall be removed from the building and job site as it accumulates and be legally disposed of.

Remove all tools, materials, structures, and equipment after each demolition operation is completed.

DASHED LINE REPRESENTS
OUTLINE OF PROPOSED
GARAGE ROOF



1
A5 2ND FLOOR PLAN - EXISTING / DEMOLITION
SCALE: 1/4" = 1'-0"



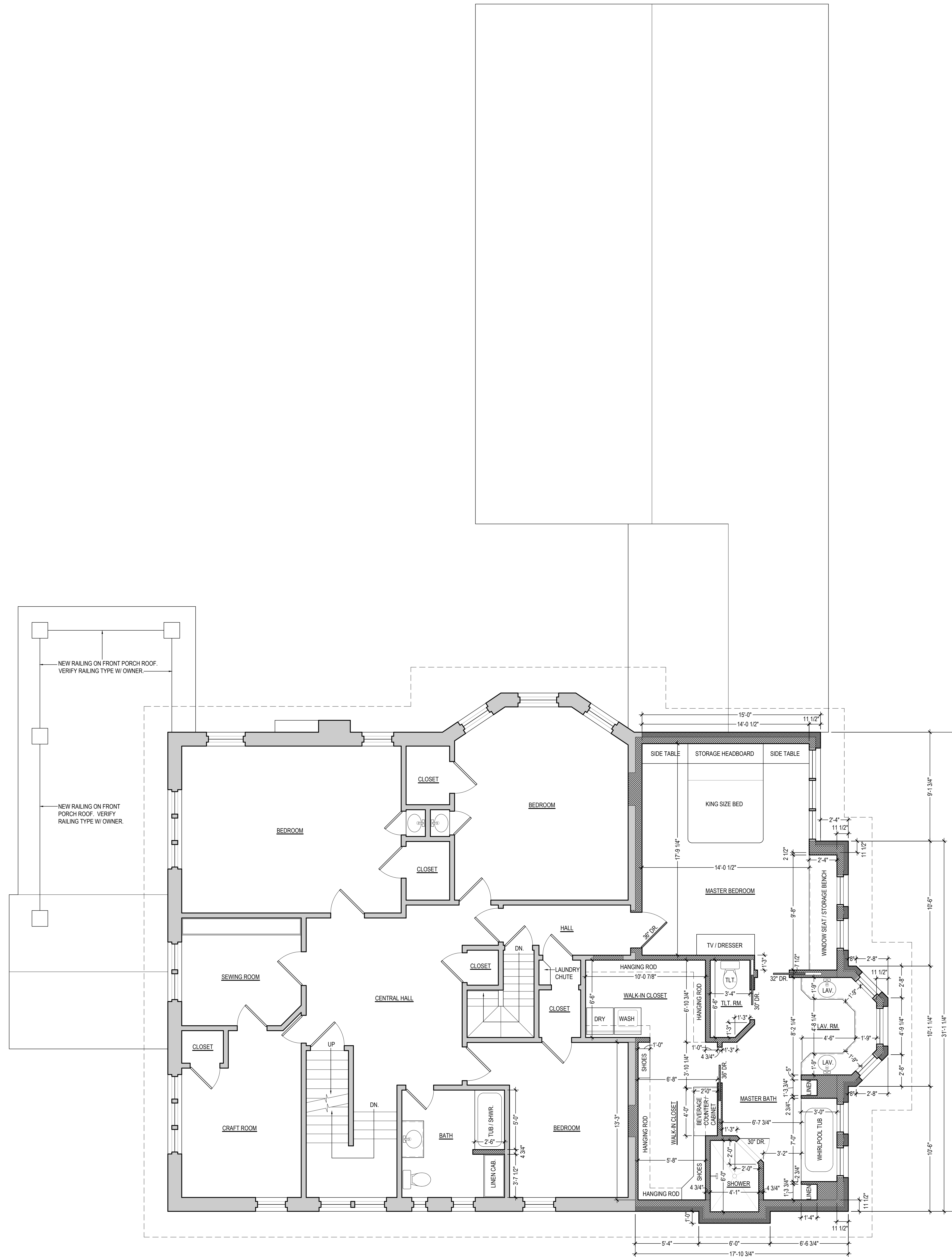
LIPE ARCHITECTURE
www.lpe-architecture.com
217-563-7836 phone
603 School Street
Nokomis, IL
62075

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

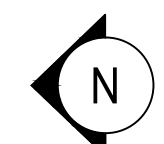
2ND FLOOR PLAN - EXISTING / DEMOLITION REVISED DRAWINGS (02/26/18)	PROJ. NO.: 1801 DATE: 02-26-18
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Jim & Kelly Hewitt - House Addition & Remodel
206 W. Tremont St., Hillsboro, IL 62049

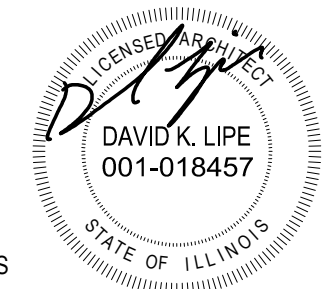
A5



1 2ND FLOOR PLAN - PROPOSED
A6 SCALE: 1/4" = 1'-0"



HEATING & COOLING SYSTEM TO BE DETERMINED BY HVAC CONTRACTOR
ELECTRICAL POWER & LIGHTING DESIGN TO BE DETERMINED BY ELECTRICAL CONTRACTOR
CONSULT WITH OWNER FOR FINAL MATERIAL, FINISH, CASEWORK & EQUIPMENT SELECTIONS



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62075

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

2ND FLOOR PLAN - PROPOSED	PROJ. NO.: 1801
REVISED DRAWINGS (02/26/18)	DATE: 02-26-18

Jim & Kelly Hewitt - House Addition & Remodel
206 W. Tremont St., Hillsboro, IL 62049

A6

Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours/two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.

GENERAL DEMOLITION NOTES

The extent of demolition work is shown on the drawings and generally includes:
 1. Dust control.
 2. Removal of existing walls, ceiling finishes, doors, frames, structure, concrete, sub-grade structures, equipment and other items indicated.
 3. Disconnecting and removing any existing utilities or services required.
 4. Removal of all debris.

General Contractor shall do all demolition, cutting, patching, removal of walls, wall facings, etc., indicated, specified or both. It shall be the general contractor's responsibility to examine all drawings and to become personally familiar with the requirements of all trades as to the extent of the cutting and patching that will be necessary in all areas in addition to those shown on the architectural plans.

It shall be the general contractor's responsibility to personally visit the site to determine the locations and extent of existing partitions, walls, built-in items, nature of existing materials, finishes, and other conditions affecting the work.

In general, all necessary cutting & patching shall be done by the general contractor. All areas shall be patched with the same material as removed or with new materials indicated. Finishes shall be verified by the Contractor at job site.

Provide temporary partition barriers to prohibit public entering areas to be remodeled. Maintain all required fire exits and lanes, erect and maintain barriers, fences, rails, guards, lighting, etc. as required by federal, state and local laws and regulations to protect personnel and to ensure safety for the public.

The general contractor shall exercise care to protect the existing building from damage, and shall replace and repair at no additional cost to the Owner, damage that he may cause.

Take precautions to guard against movement or settlement, provide bracing or shoring as necessary, be responsible for safety, support of existing structure; be liable for any such movement or settlement, any damage or injury caused thereby or resulting therefrom.
 Any damage to lawns, shrubbery, curbs, drives, walks, etc., shall be restored to their original condition.

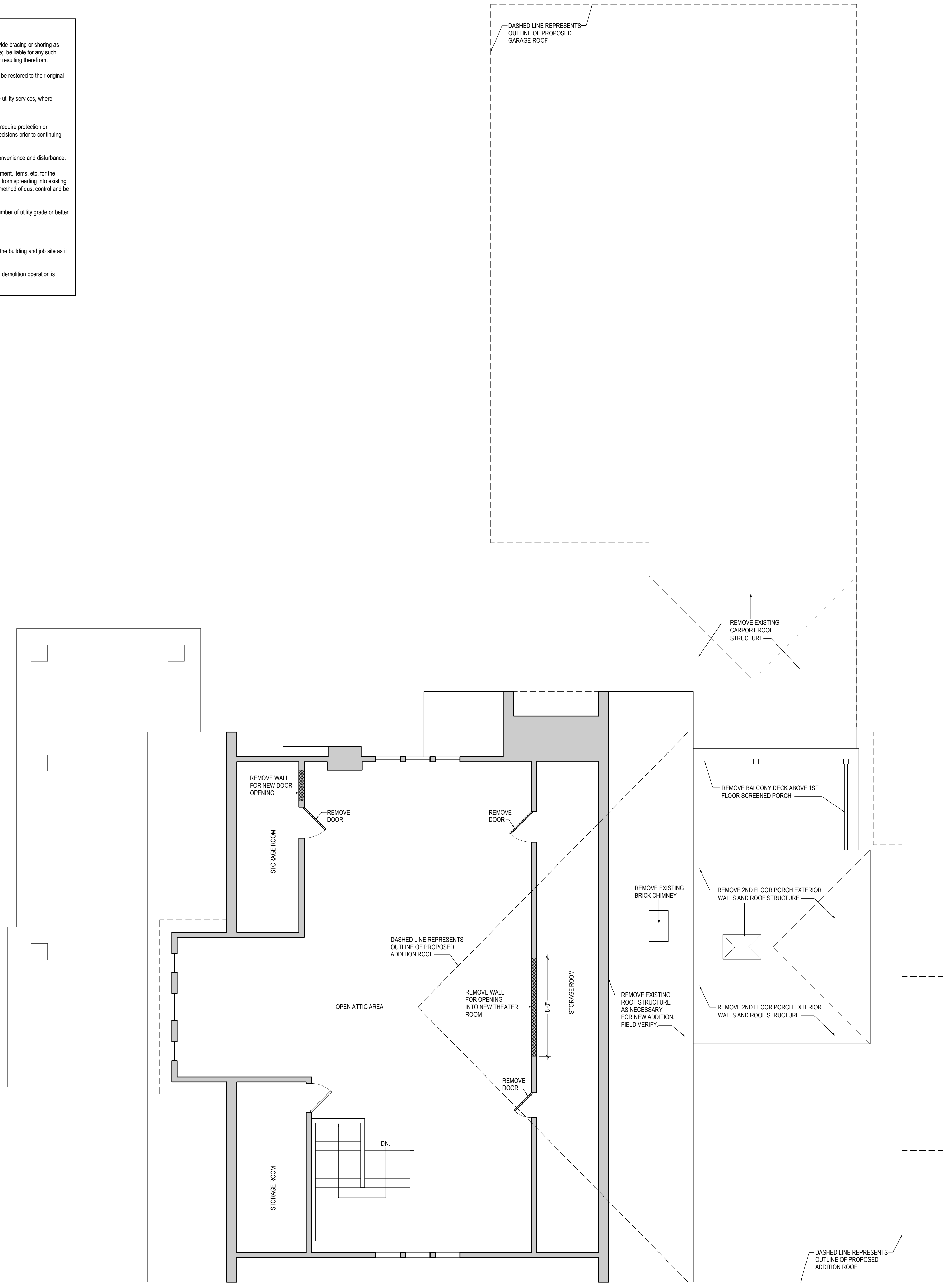
When encountered in work or as indicated, protect existing active utility services, where required for proper execution of work, relocate them as directed.

If existing, active services are not indicated but are encountered, require protection or relocating, request from Owner in writing for determination and decisions prior to continuing work. Do not proceed until written instructions are obtained.

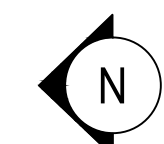
Coordinate and schedule with Owner to provide for minimum inconvenience and disturbance.

Dust control must be provided for removal of existing work, equipment, items, etc. for the project in general. Dust control shall be designed to prevent dust from spreading into existing areas, services, or facilities. Contractor shall determine his own method of dust control and be responsible for same.

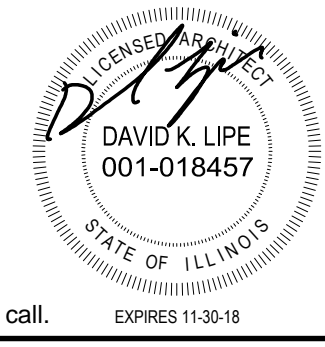
Unless otherwise specifically approved, use only new and solid lumber of utility grade or better to construct temporary barriers.
 Any salvageable items shall remain the property of the Owner.
 All debris, waste and excessive materials shall be removed from the building and job site as it accumulates and be legally disposed of.
 Remove all tools, materials, structures, and equipment after each demolition operation is completed.



1 3RD FLOOR PLAN - EXISTING / DEMOLITION
 A7 SCALE: 1/4" = 1'-0"



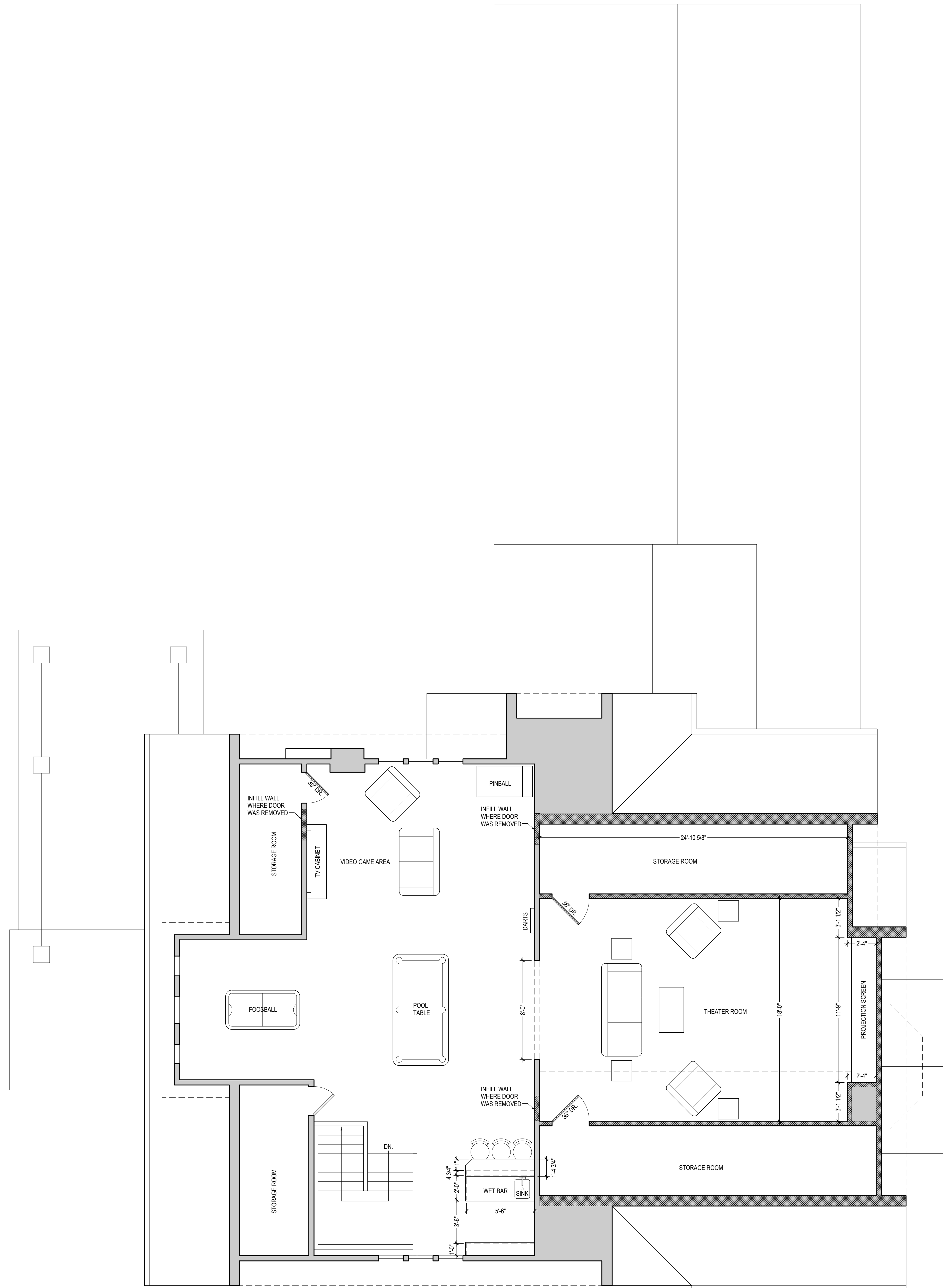
NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.



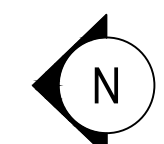
LIPE ARCHITECTURE
 www.lpe-architecture.com 603 School Street
 217-563-7836 phone Nokomis, IL
 62075

3RD FLOOR PLAN - EXISTING / DEMOLITION REVISED DRAWINGS (02/26/18)	PROJ. NO.: 1801 DATE: 02-26-18
Jim & Kelly Hewitt - House Addition & Remodel 206 W. Tremont St., Hillsboro, IL 62049	
A7	

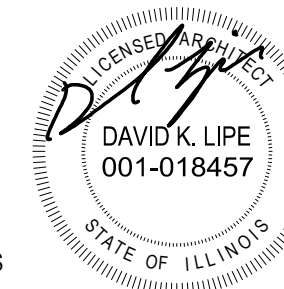
Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours/two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.



1 3RD FLOOR PLAN - PROPOSED
A8 SCALE: 1/4" = 1'-0"



HEATING & COOLING SYSTEM TO BE DETERMINED BY HVAC CONTRACTOR
ELECTRICAL POWER & LIGHTING DESIGN TO BE DETERMINED BY ELECTRICAL CONTRACTOR
CONSULT WITH OWNER FOR FINAL MATERIAL, FINISH, CASEWORK & EQUIPMENT SELECTIONS



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603 School Street
Nokomis, IL
62075

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

3RD FLOOR PLAN - PROPOSED
REVISED DRAWINGS (02/26/18)

PROJ. NO.: 1801
DATE: 02-26-18

Jim & Kelly Hewitt - House Addition & Remodel
206 W. Tremont St., Hillsboro, IL 62049

A8

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Any damage to lawns, shrubbery, curbs, drives, walks, etc., shall be restored to their original condition.

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If existing, active services are not indicated but are encountered, require protection or relocating, request from Owner in writing for determination and decisions prior to continuing work. Do not proceed until written instructions are obtained.

Coordinate and schedule with Owner to provide for minimum inconvenience and disturbance.

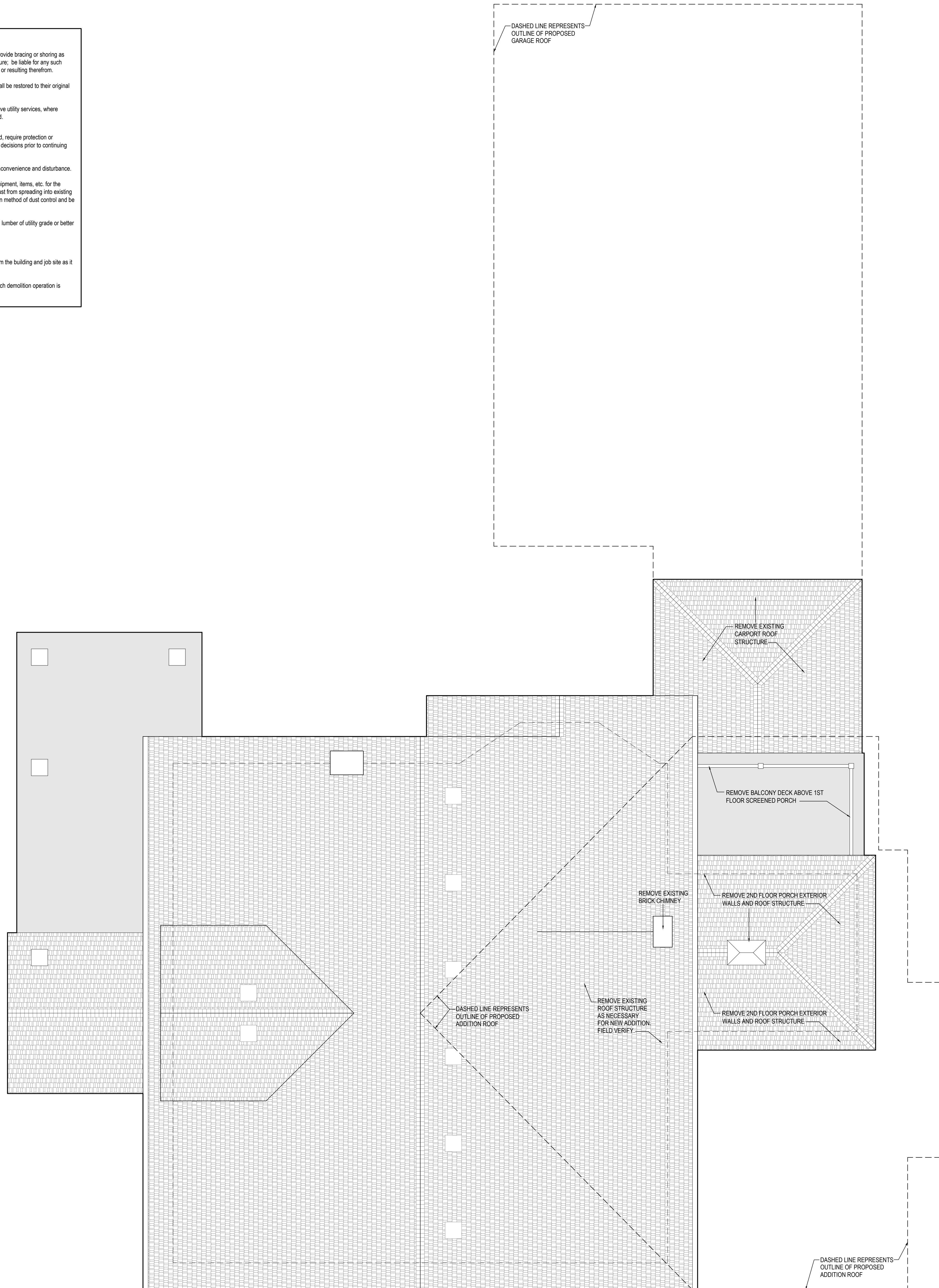
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Unless otherwise specifically approved, use only new and solid lumber of utility grade or better to construct temporary barriers.

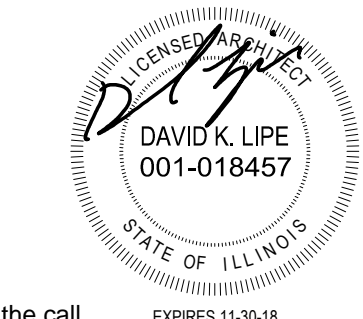
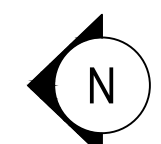
Any salvageable items shall remain the property of the Owner.

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1
A9 ROOF PLAN - EXISTING / DEMOLITION
SCALE: 1/4" = 1'-0"



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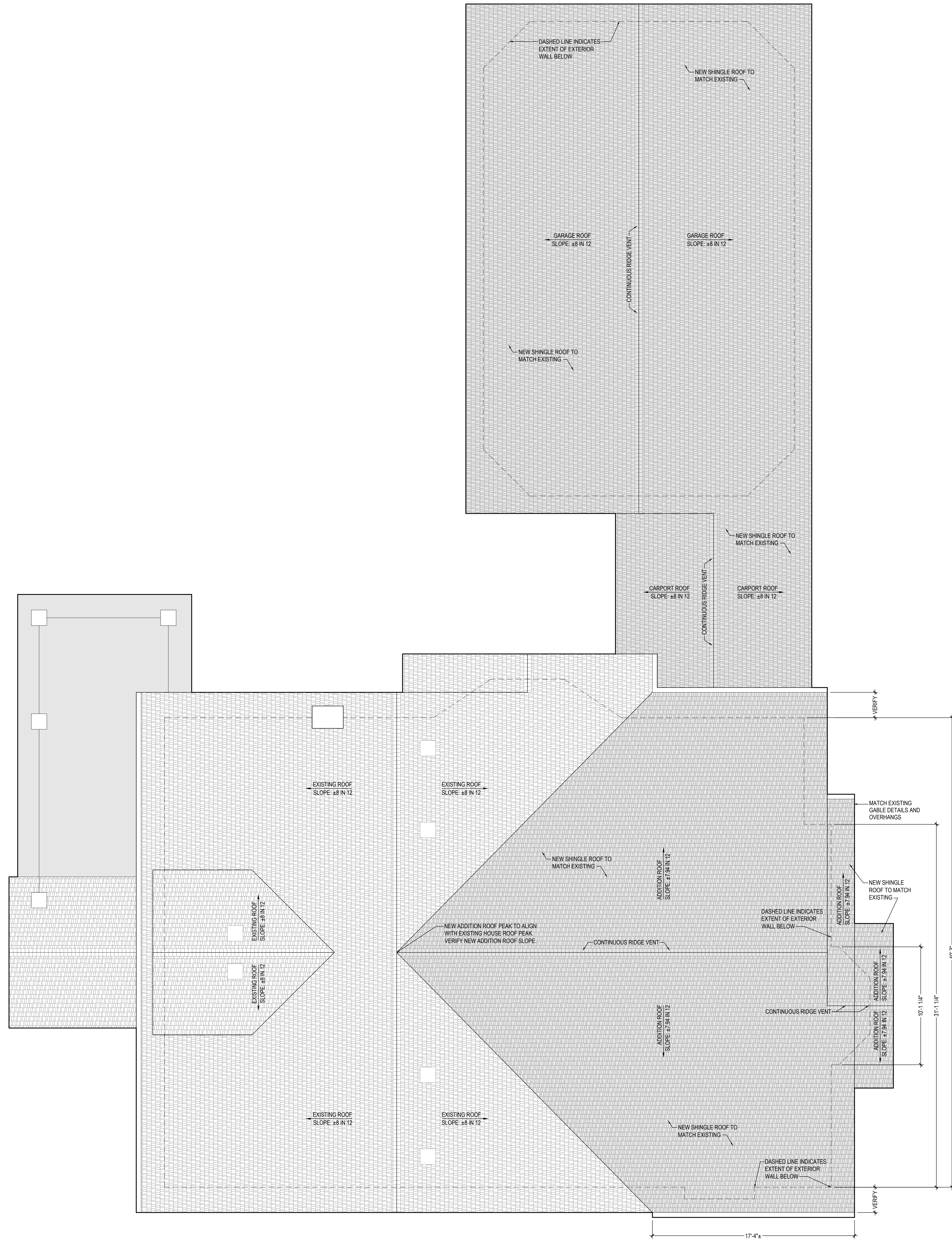
NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

ROOF PLAN - EXISTING / DEMOLITION	PROJ. NO.: 1801
REVISED DRAWINGS (02/26/18)	DATE: 02-26-18

Jim & Kelly Hewitt - House Addition & Remodel
206 W. Tremont St., Hillsboro, IL 62049

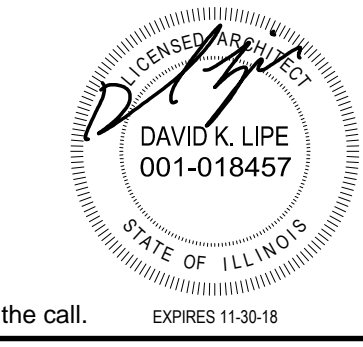
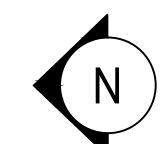
A9

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NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

1 ROOF PLAN - PROPOSED
A10 SCALE: 1/4" = 1'-0"



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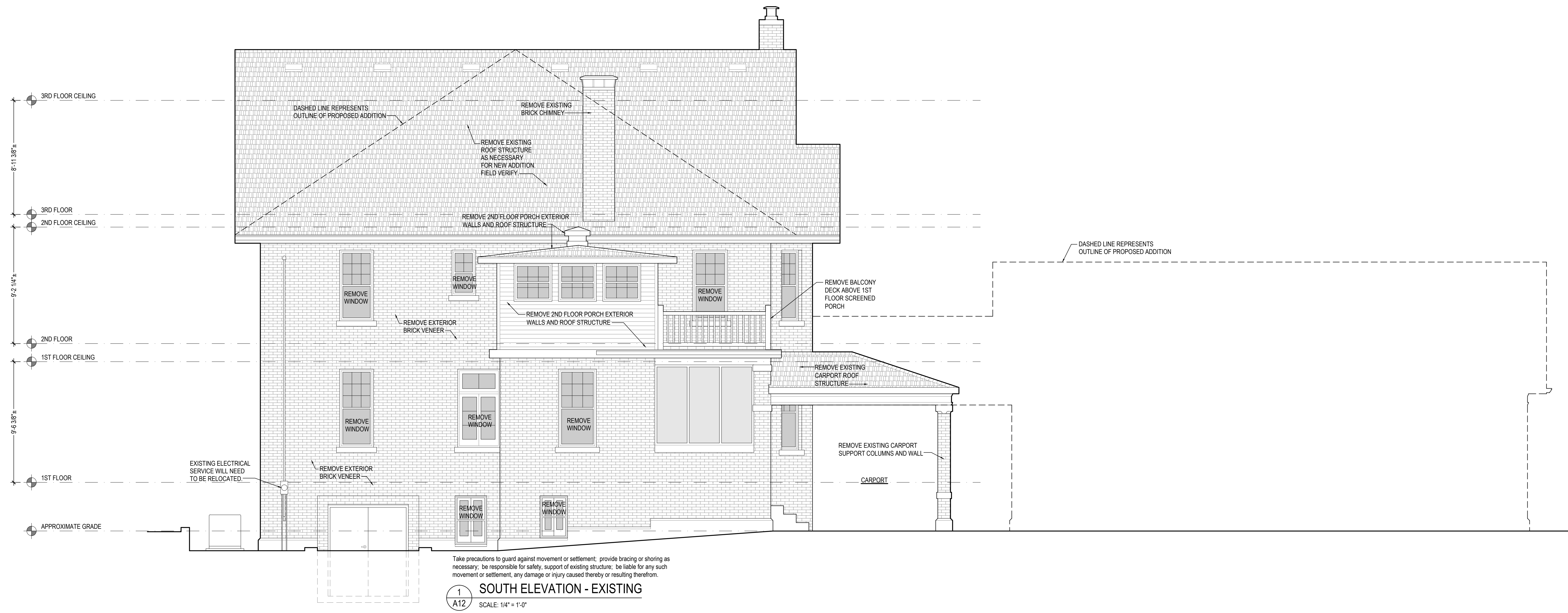
ROOF PLAN - PROPOSED
REVISED DRAWINGS (02/26/18)
Jim & Kelly Hewitt - House Addition & Remodel
206 W. Tremont St., Hillsboro, IL 62049

PROJ. NO.: 1801
DATE: 02-26-18

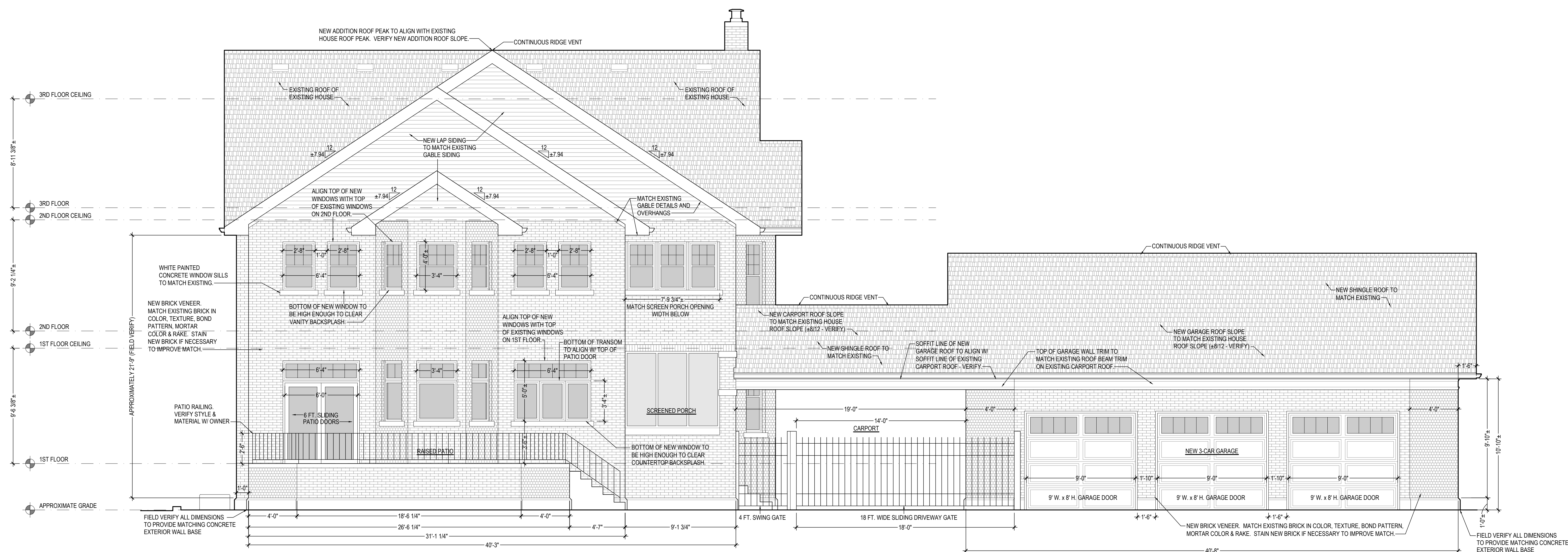
A10

Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours/two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.

EPRES 11-30-18

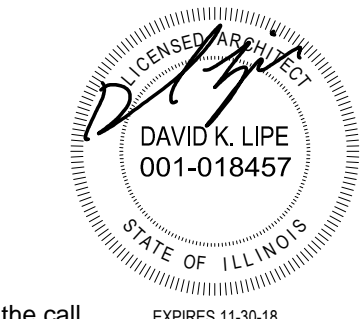


1 SOUTH ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

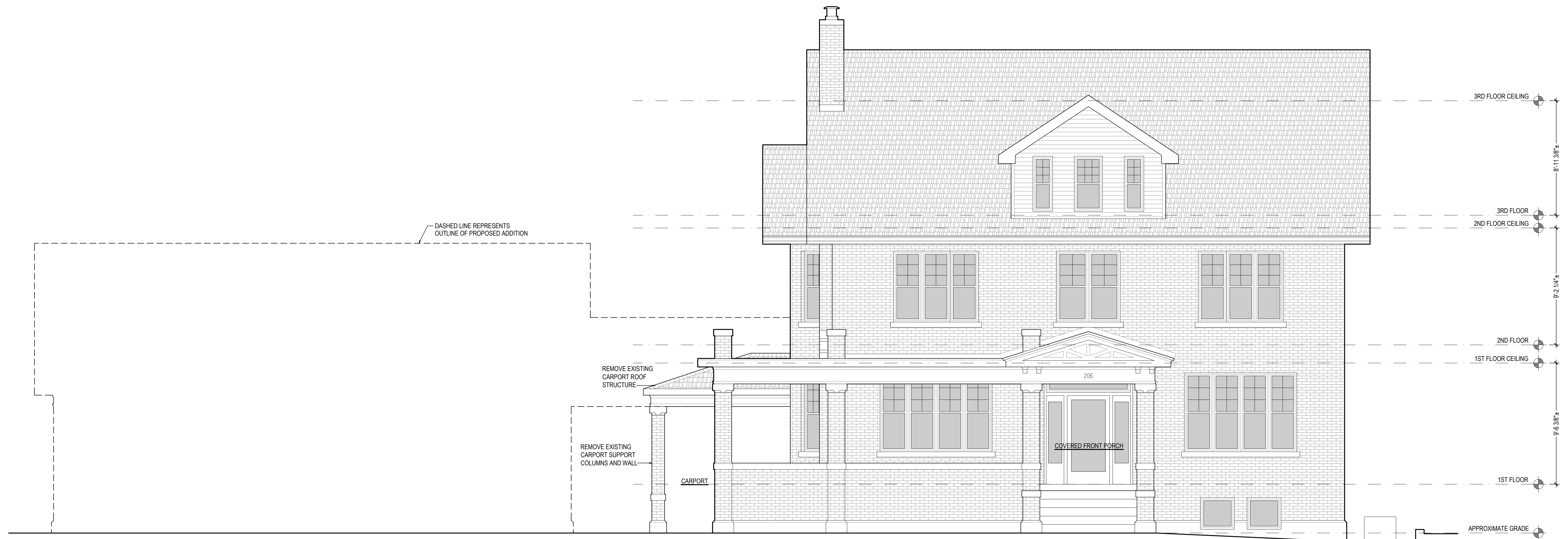
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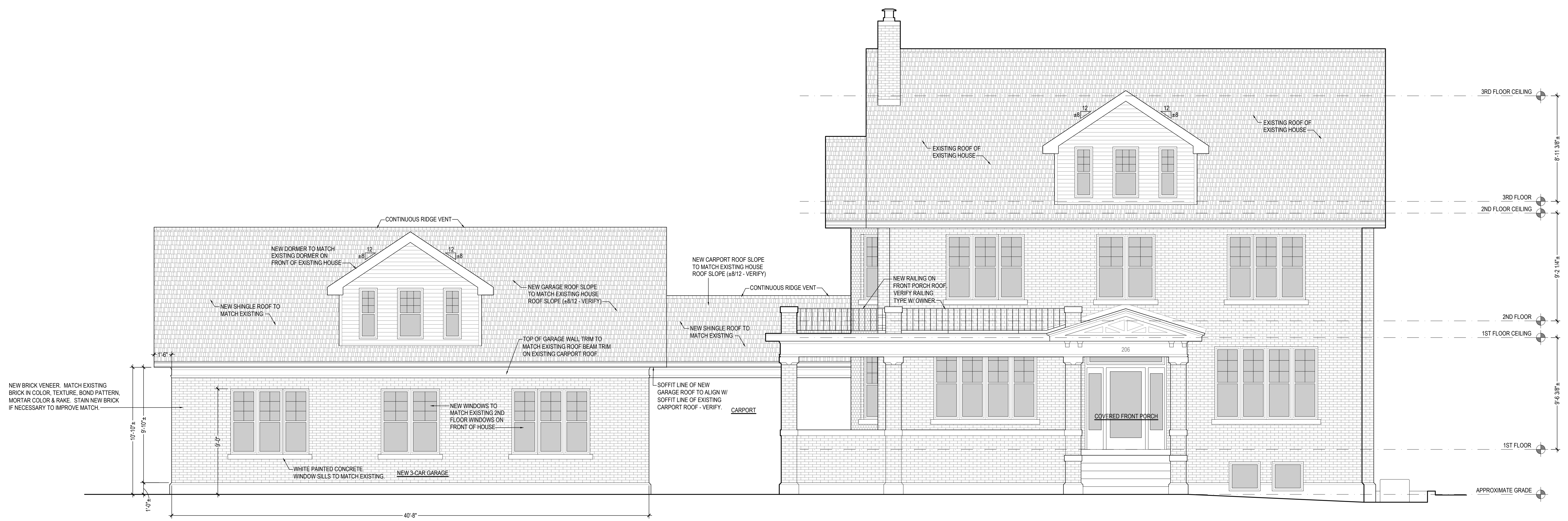
SOUTH ELEVATIONS - EXISTING & PROPOSED
REVISED DRAWINGS (02/26/18)
Jim & Kelly Hewitt - House Addition & Remodel
206 W. Tremont St., Hillboro, IL 62049

PROJ. NO.: 1801
DATE: 02-26-18
A12



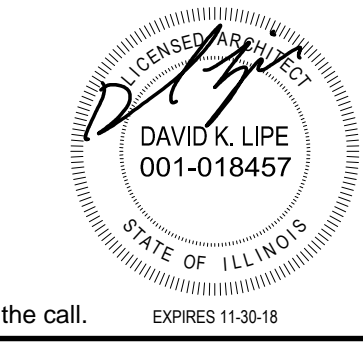
Take precautions to guard against movement or settlement; provide bracing or shoring as necessary. Be responsible for safety, support of existing structure. Be liable for any such movement or settlement, any damage or injury caused thereby or resulting therefrom.

1 NORTH ELEVATION - EXISTING
A13 SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION - PROPOSED
A13 SCALE: 1/4" = 1'-0"

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.



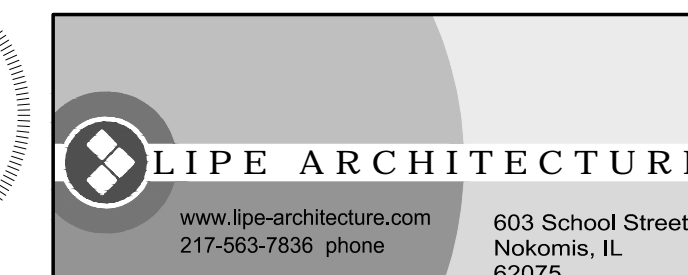
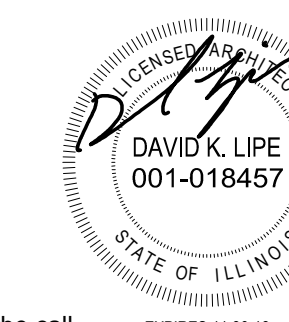
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www.lipe-architecture.com
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603 School Street
Nokomis, IL 62075

NORTH ELEVATIONS - EXISTING & PROPOSED
REVISED DRAWINGS (02/26/18)
Jim & Kelly Hewitt - House Addition & Remodel
206 W. Tremont St., Hillside, IL 62049

PROJ. NO.: 1801
DATE: 02-26-18
A13



NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.



WEST ELEVATIONS - EXISTING & PROPOSED
REVISED DRAWINGS (02/26/18)

Jim & Kelly Hewitt - House Addition & Remodel
206 W. Tremont St., Hillsboro, IL 62049

PROJ. NO.: 1801
DATE: 02-26-18

A14