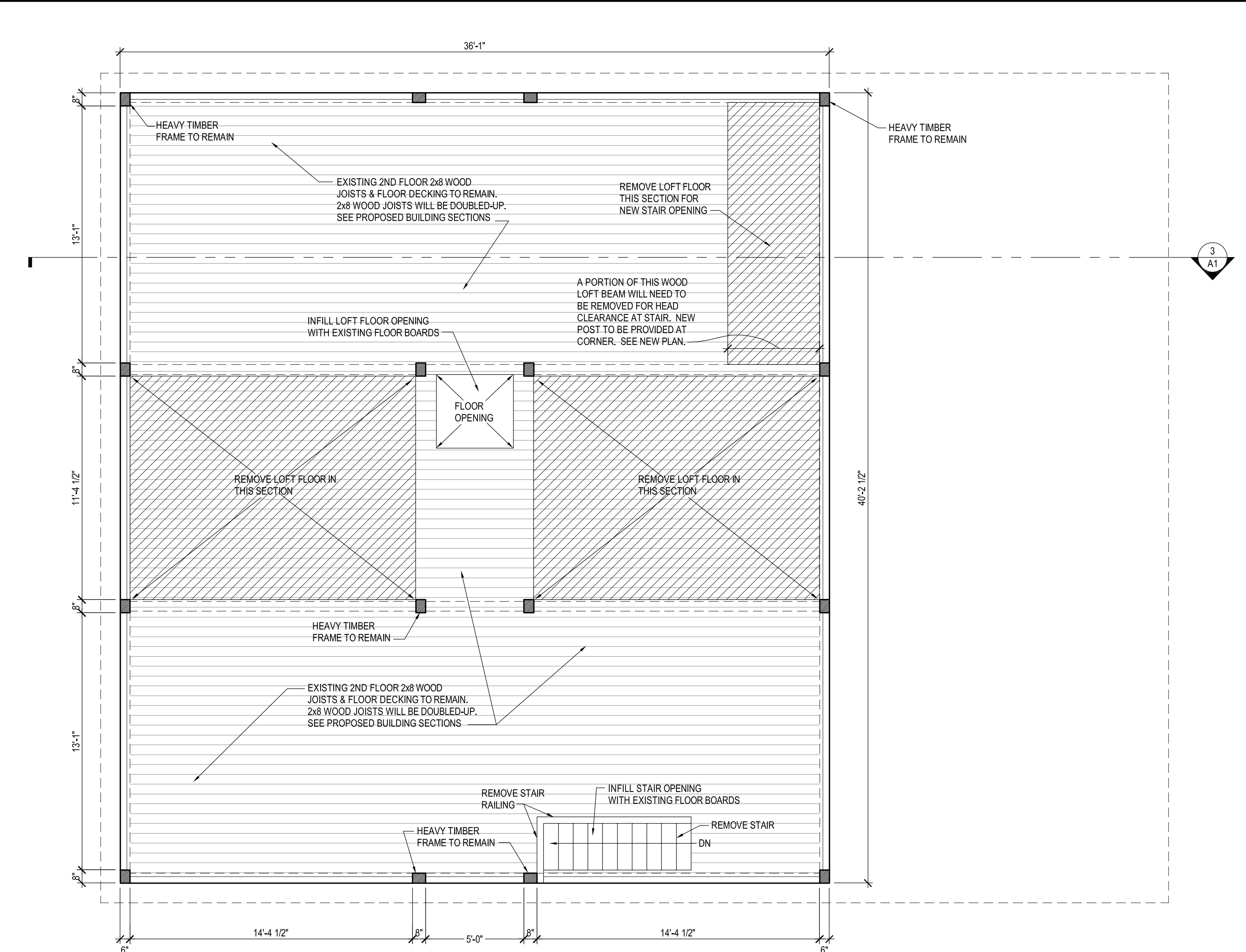
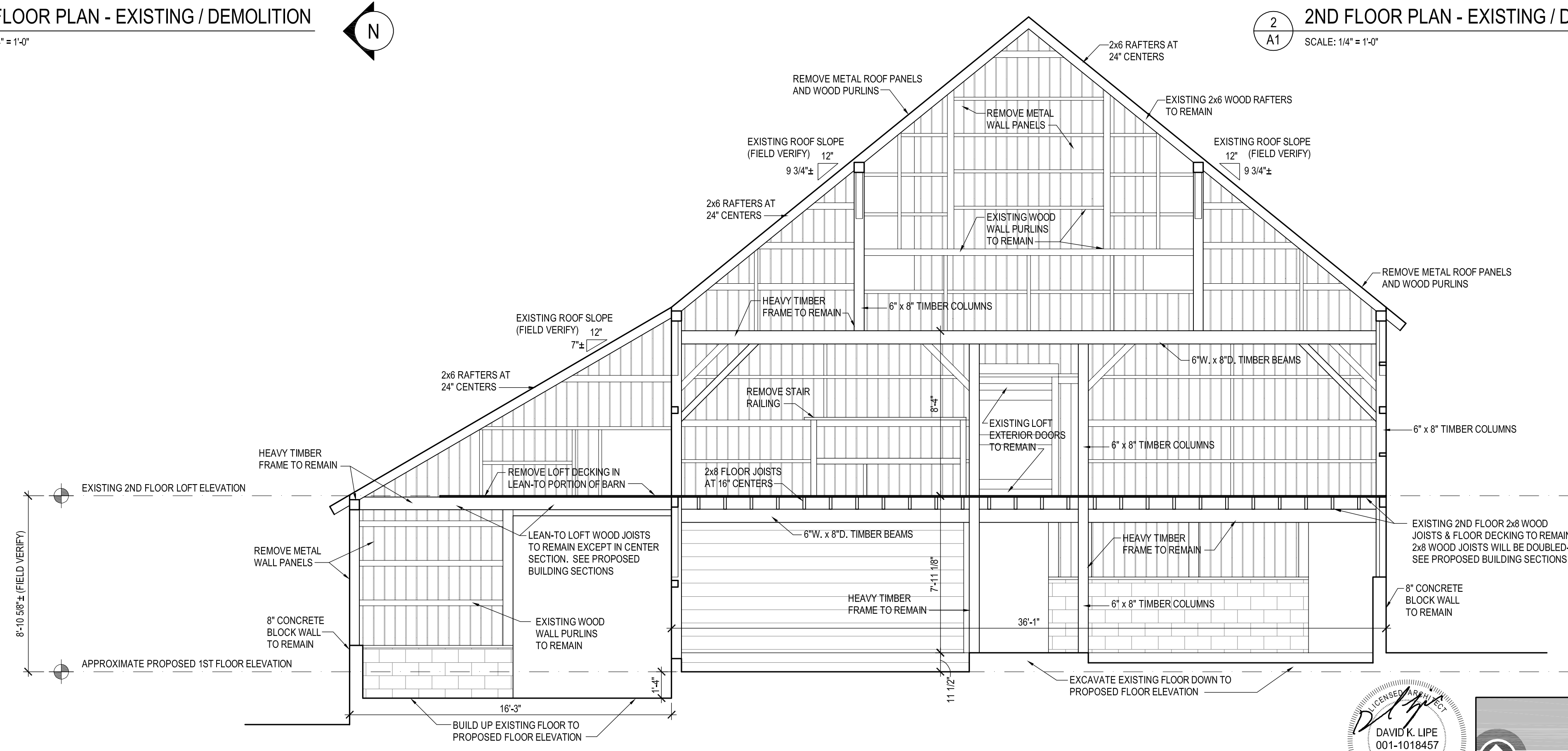


1
A1
1ST FLOOR PLAN - EXISTING / DEMOLITION
SCALE: 1/4" = 1'-0"



2
A1
2ND FLOOR PLAN - EXISTING / DEMOLITION
SCALE: 1/4" = 1'-0"



3
A1
BUILDING SECTION - EXISTING / DEMOLITION
SCALE: 1/4" = 1'-0"

DEMOLITION GENERAL NOTES:

DEMOLISH AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS. ALL REQUIRED DEMOLITION WORK SHALL BE INCLUDED IN THE BASE BID PACKAGE SUBMITTED BY THE CONTRACTOR.

DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.

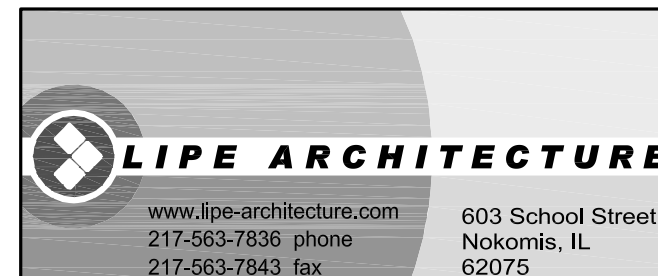
THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.

THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.

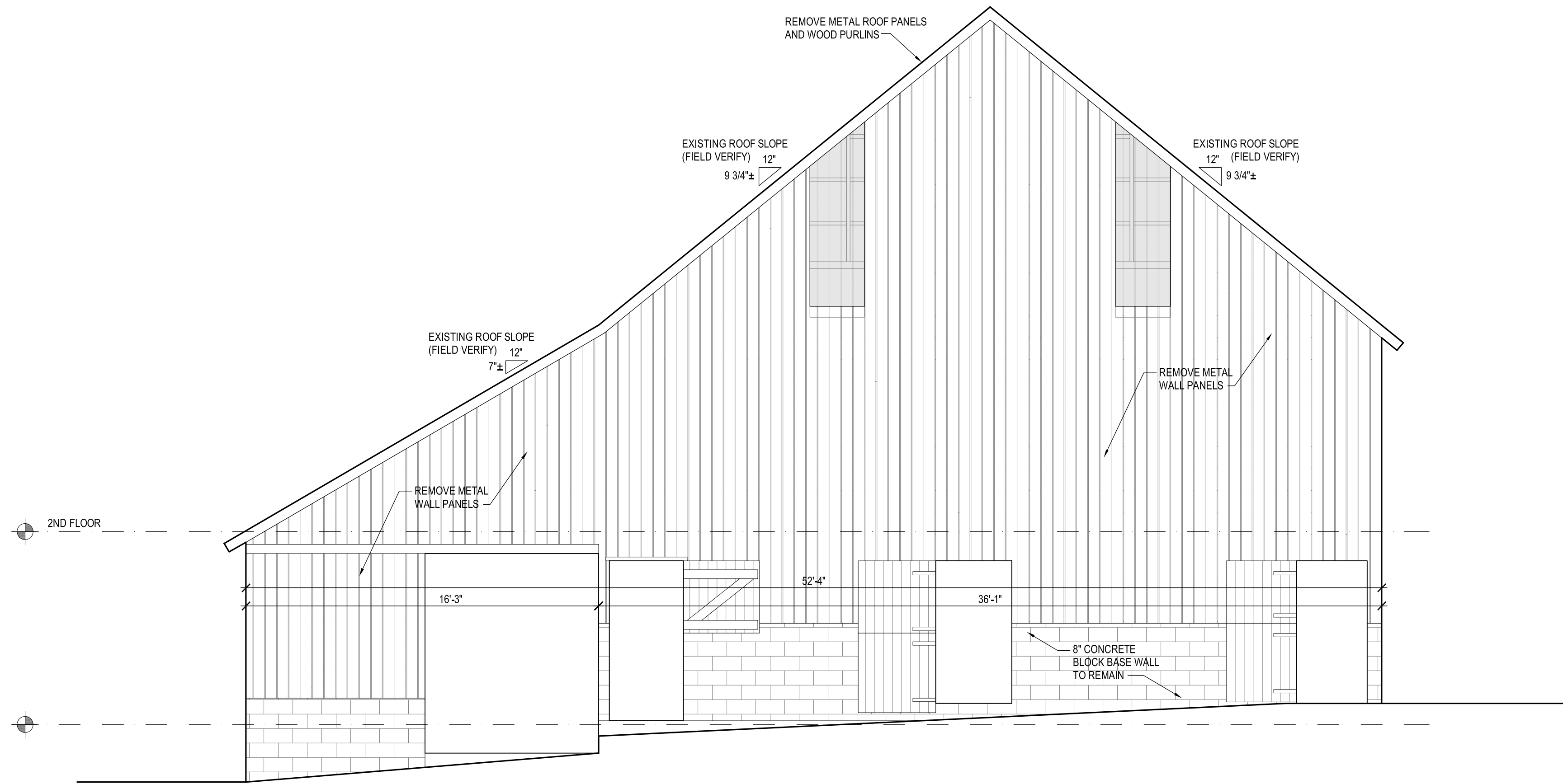
THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

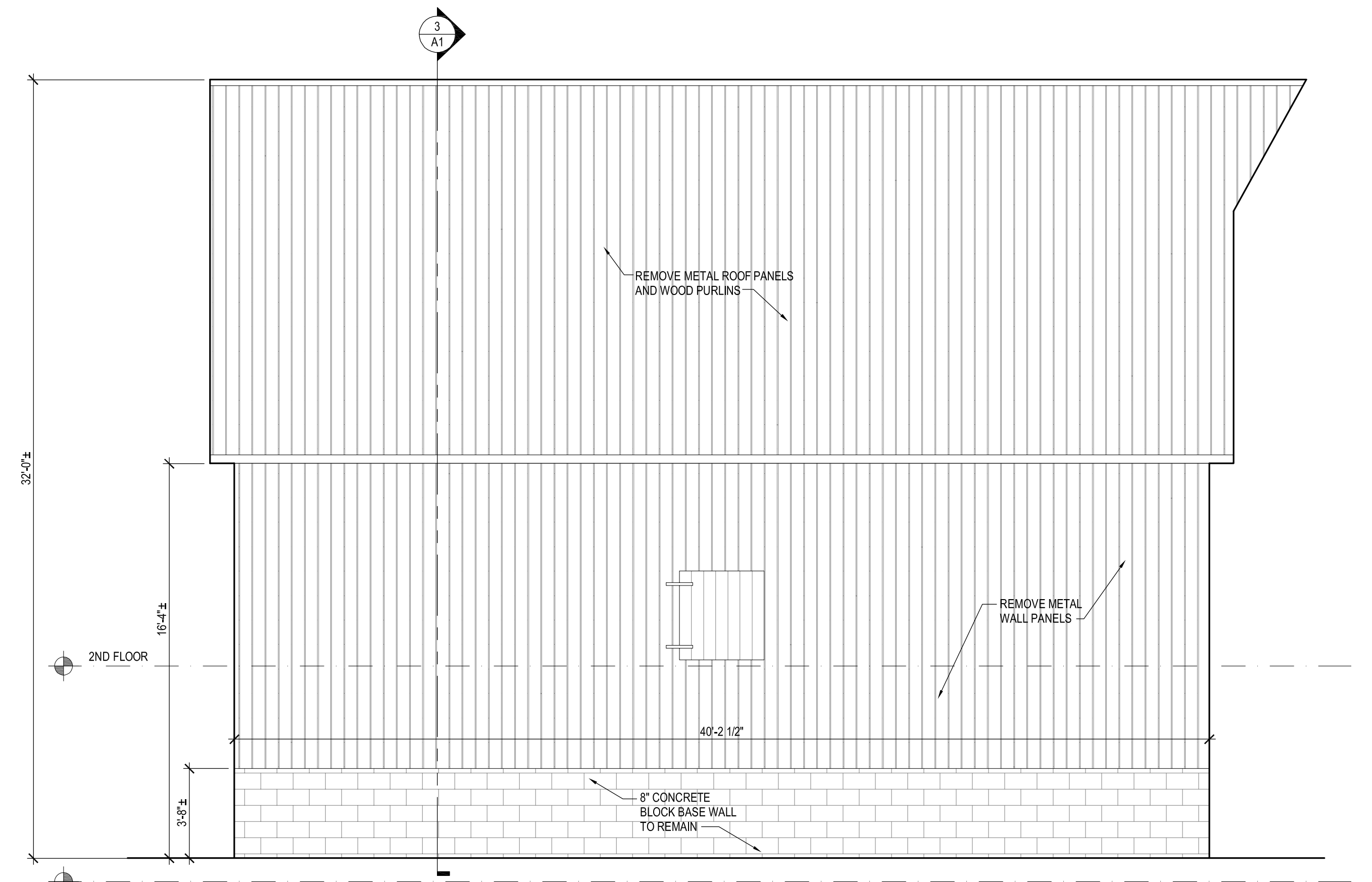
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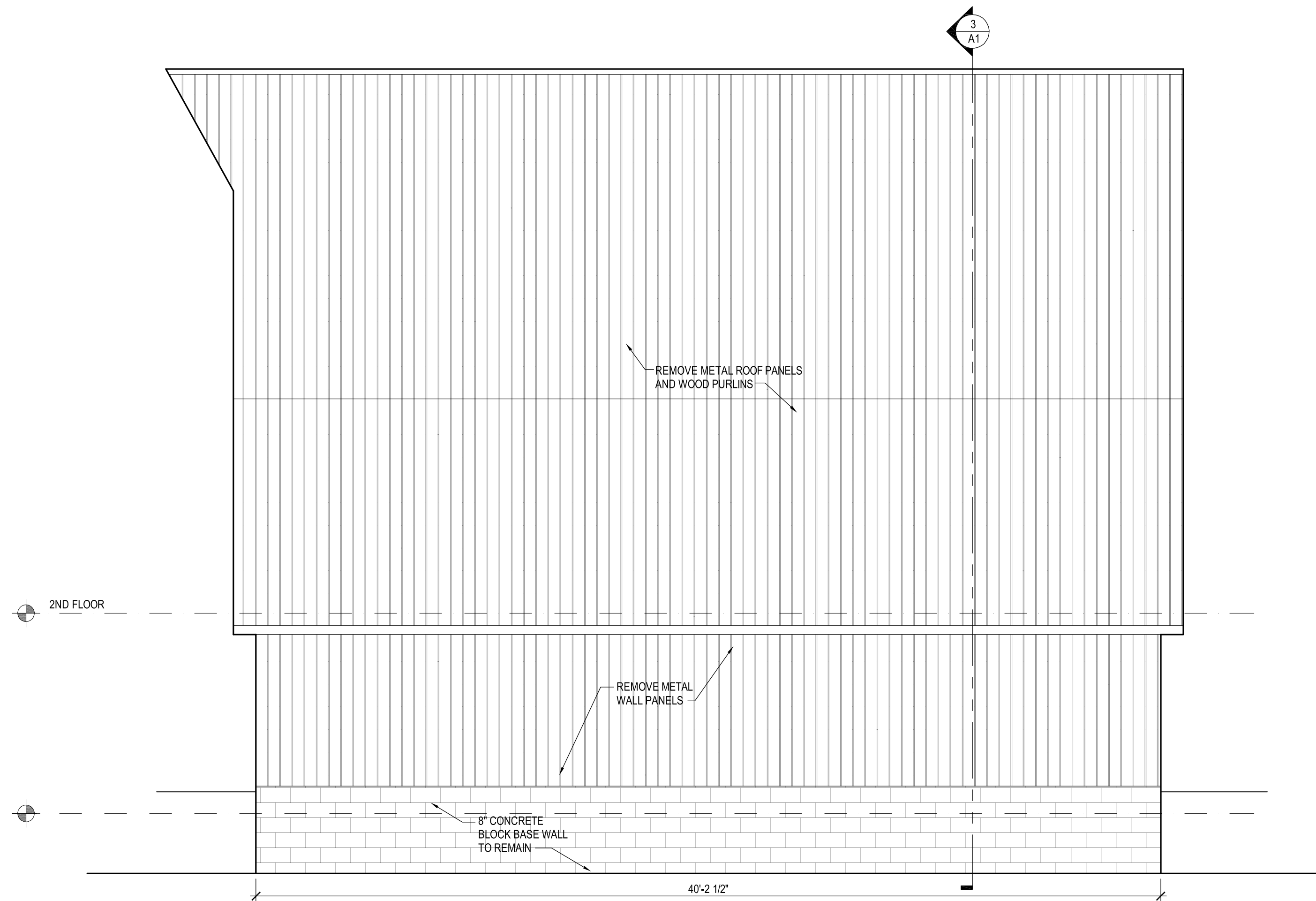
FLOOR PLANS & BUILDING SECTION - EXISTING / DEMOLITION	PROJ. NO.: 1313
	DATE: 06-09-13
Arpeggio Winery - Barn Renovation	
778 N Hwy 51, Pana, IL 62557	
A1	



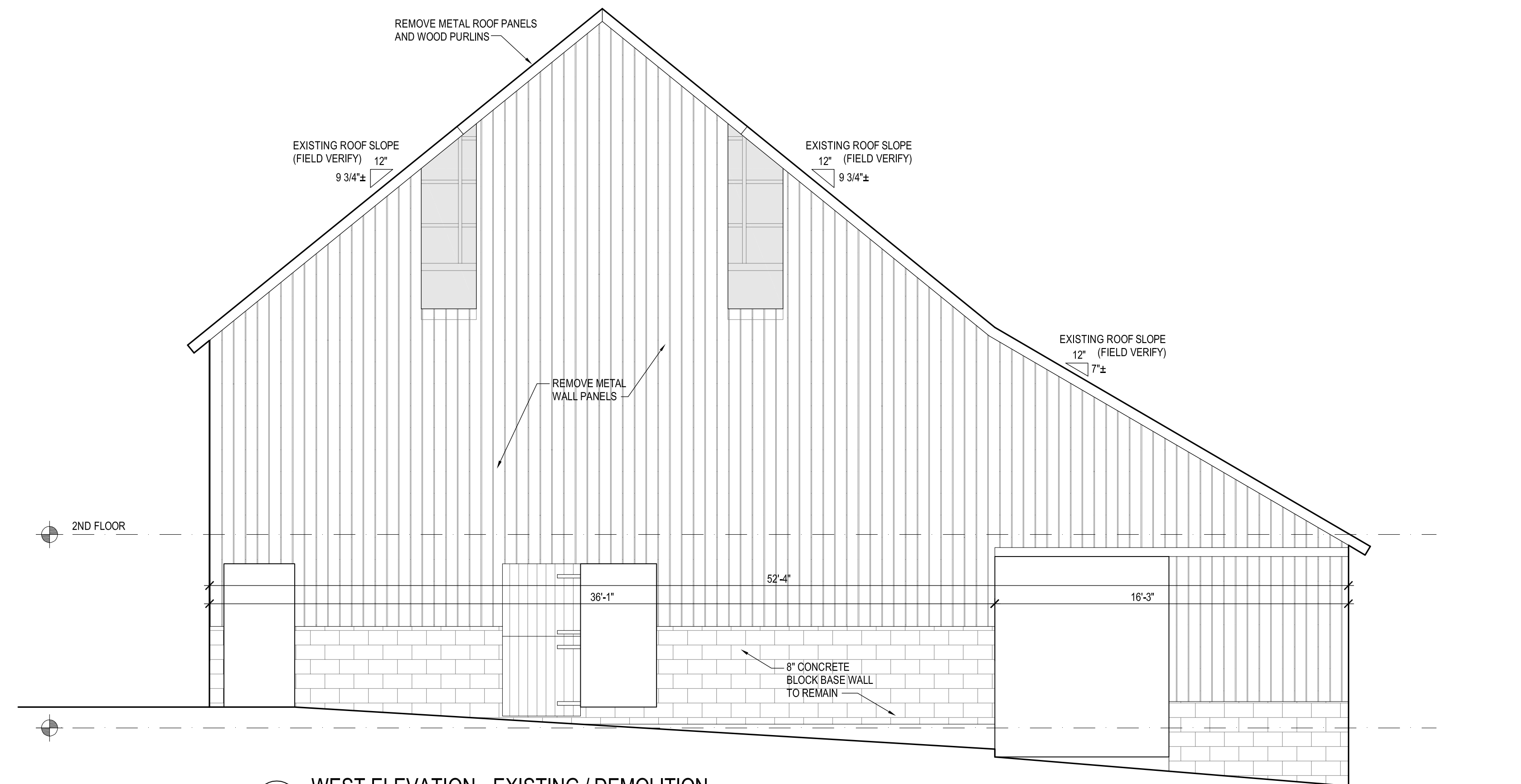
1 EAST ELEVATION - EXISTING / DEMOLITION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - EXISTING / DEMOLITION
SCALE: 1/4" = 1'-0"

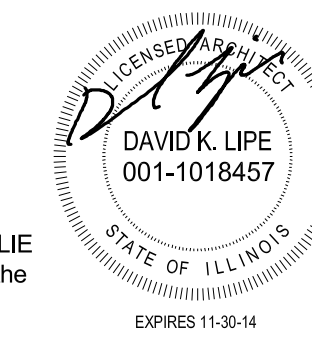


3 SOUTH ELEVATION - EXISTING / DEMOLITION
SCALE: 1/4" = 1'-0"



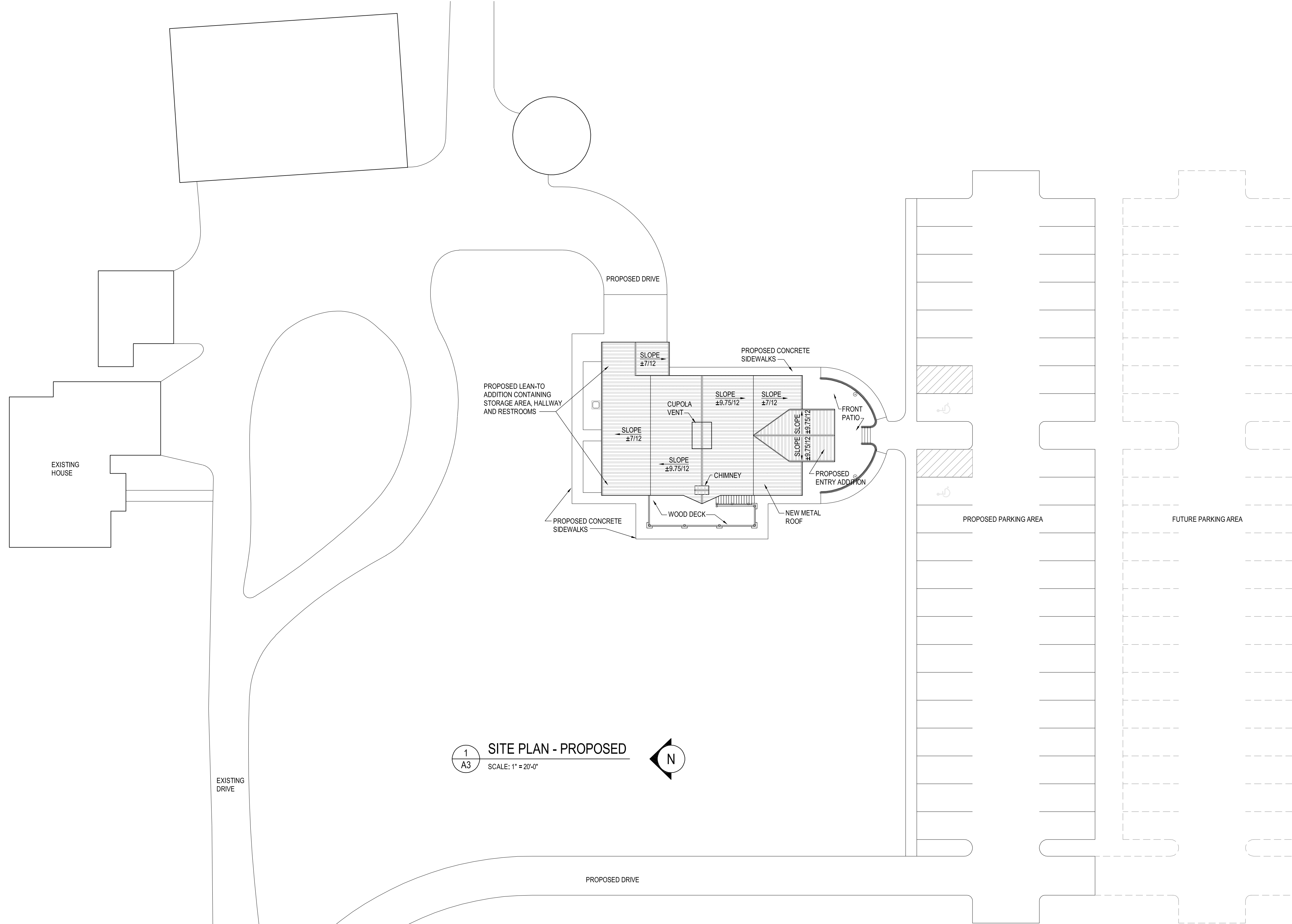
4 WEST ELEVATION - EXISTING / DEMOLITION
SCALE: 1/4" = 1'-0"

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

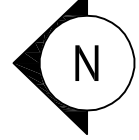


EXTERIOR ELEVATIONS - EXISTING / DEMOLITION	PROJ. NO.: 1313
Arpeggio Winery - Barn Renovation	DATE: 06-09-13
778 N Hwy 51, Pana, IL 62557	A2

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1
A3
SITE PLAN - PROPOSED
SCALE: 1" = 20'-0"



GRAPE VINEYARD

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

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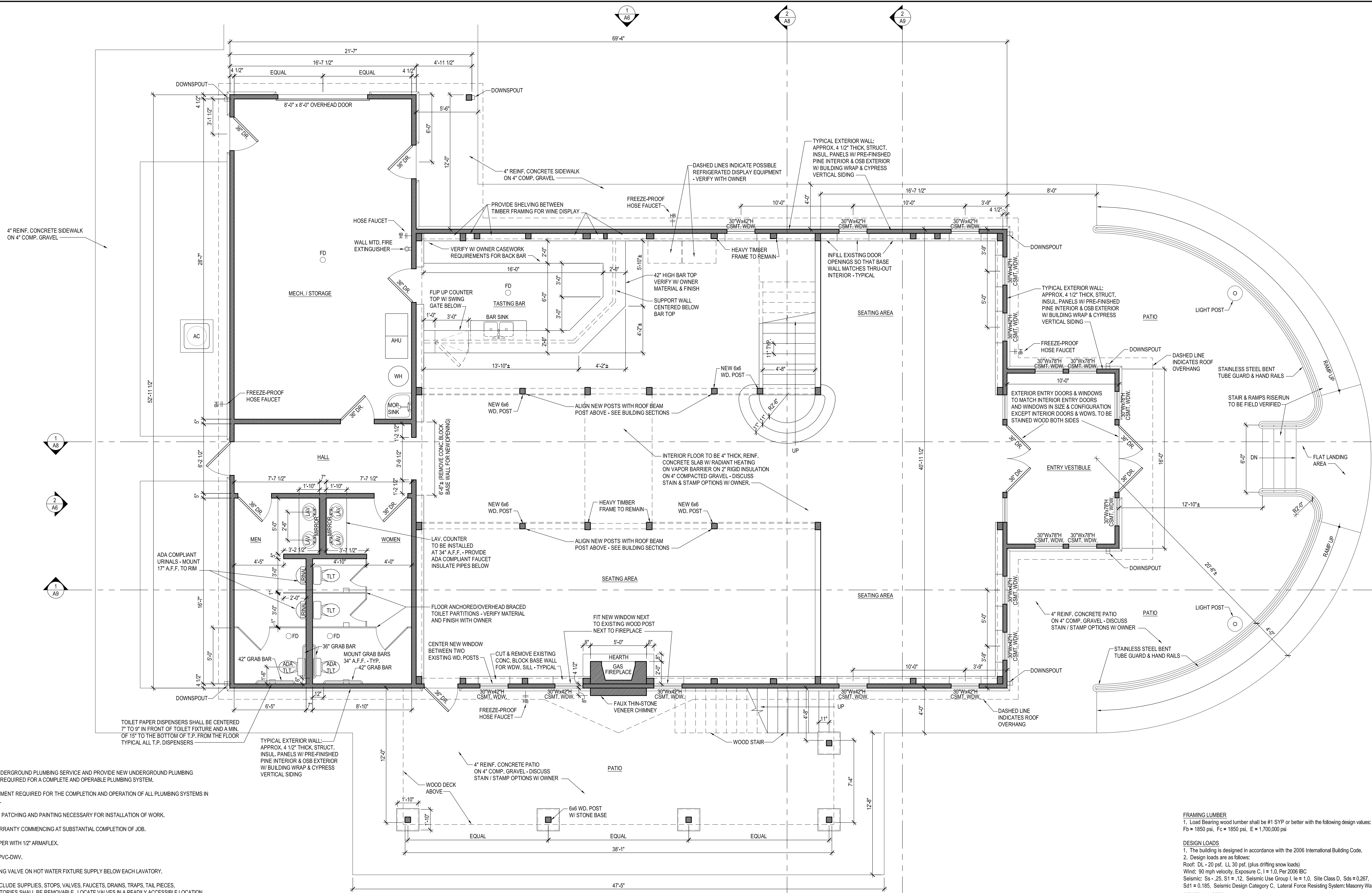


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SITE PLAN - PROPOSED	PROJ. NO.: 1313
	DATE: 06-09-13

Arpeggio Winery - Barn Renovation
778 N Hwy 51, Pana, IL 62557

A3



1ST FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

GENERAL PLUMBING NOTES:

CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND PLUMBING SERVICE AND PROVIDE NEW UNDERGROUND PLUMBING SERVICE TO TIE INTO EXISTING SYSTEM AS REQUIRED FOR A COMPLETE AND OPERABLE PLUMBING SYSTEM.

PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL PLUMBING SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE CODES.

CONTRACTOR SHALL PROVIDE ALL CUTTING, PATCHING AND PAINTING NECESSARY FOR INSTALLATION OF WORK.

PROVIDE 1-YEAR LABOR AND MATERIAL WARRANTY COMMENCING AT SUBSTANTIAL COMPLETION OF JOB.

WATER PIPING SHALL BE TYPE L HARD COPPER WITH 1/2" ARMAFLEX.

WASTE AND VENT PIPING SHALL BE SCH. 40 PVC-DWV.

PROVIDE 0.5 GPM THERMOSTATIC TEMPERING VALVE ON HOT WATER FIXTURE SUPPLY BELOW EACH LAVATORY.

ALL FIXTURES SHALL BE COMPLETE AND INCLUDE SUPPLIES, STOPS, VALVES, FAUCETS, DRAINS, TRAPS, TAIL PIECES, ESCUTCHEONS, ETC. TRAPS FOR ALL LAVATORIES SHALL BE REMOVABLE. LOCATE VALVES IN A READILY ACCESSIBLE LOCATION.

ALL MATERIALS SHALL BE NEW AND SHALL FIT THE SPACE AVAILABLE. VERIFY DIMENSIONS AT SITE.

ALL PIPING, APPARATUS, EQUIPMENT, ETC. SHALL BE PROPERLY SUPPORTED, BRACED VERTICALLY AND HORIZONTALLY IN ACCORDANCE WITH APPLICABLE CODES.

ALL VALVES, CLEANOUTS, ETC. SHALL BE LOCATED AND INSTALLED TO PERMIT ACCESS FOR SERVICE WITHOUT DAMAGE TO BUILDING OR FINISHED MATERIALS. PROVIDE CLEANOUTS ON ALL ACCESSIBLE TRAPS.

STERILIZE DOMESTIC WATER PIPING IN ACCORDANCE WITH APPLICABLE CODES.

ALL WATER PIPING SHALL BE INSULATED AND SHALL NOT BE RUN IN AREAS SUBJECT TO FREEZING TEMPERATURES. PROVIDE WATER HAMMER ARRESTERS AND VACUUM BREAKERS AS REQUIRED BY CODE.

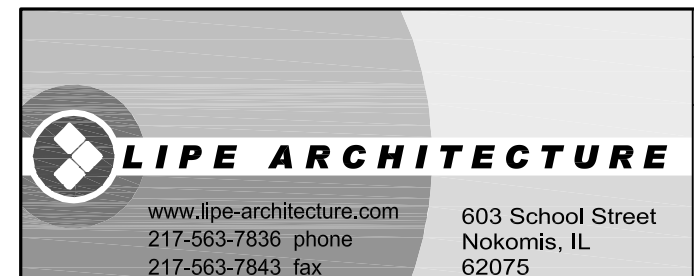
ALL PLUMBING FIXTURES MUST BE VENTED IN ACCORDANCE WITH APPLICABLE PLUMBING CODE INCLUDING LOCAL CODES.

CAULK AROUND ALL PLUMBING FIXTURES INSTALLED. CAULK SHALL BE NON-HARDENING, NON-YELLOWING, MILDEW RESISTANT SILICONE AND IN A COLOR TO MATCH THE PLUMBING FIXTURE.

PLUMBING MUST MEET OR EXCEED THE REQUIREMENTS OF:

TITLE 77: PUBLIC HEALTH
CHAPTER I: DEPARTMENT OF PUBLIC HEALTH
SUBCHAPTER 7: WATER AND SEWAGE
PART 890 ILLINOIS PLUMBING CODE

Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.



NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.	1ST FLOOR PLAN - PROPOSED	PROJ. NO.: 1313
	Arpeggio Winery - Barn Renovation	DATE: 06-09-13
	778 N Hwy 51, Pana, IL 62557	A4

FRAMING LUMBER

1. Load Bearing wood lumber shall be #1 SYP or better with the following design values:
Fb = 1850 psi, Fc = 1850 psi, E = 1,700,000 psi

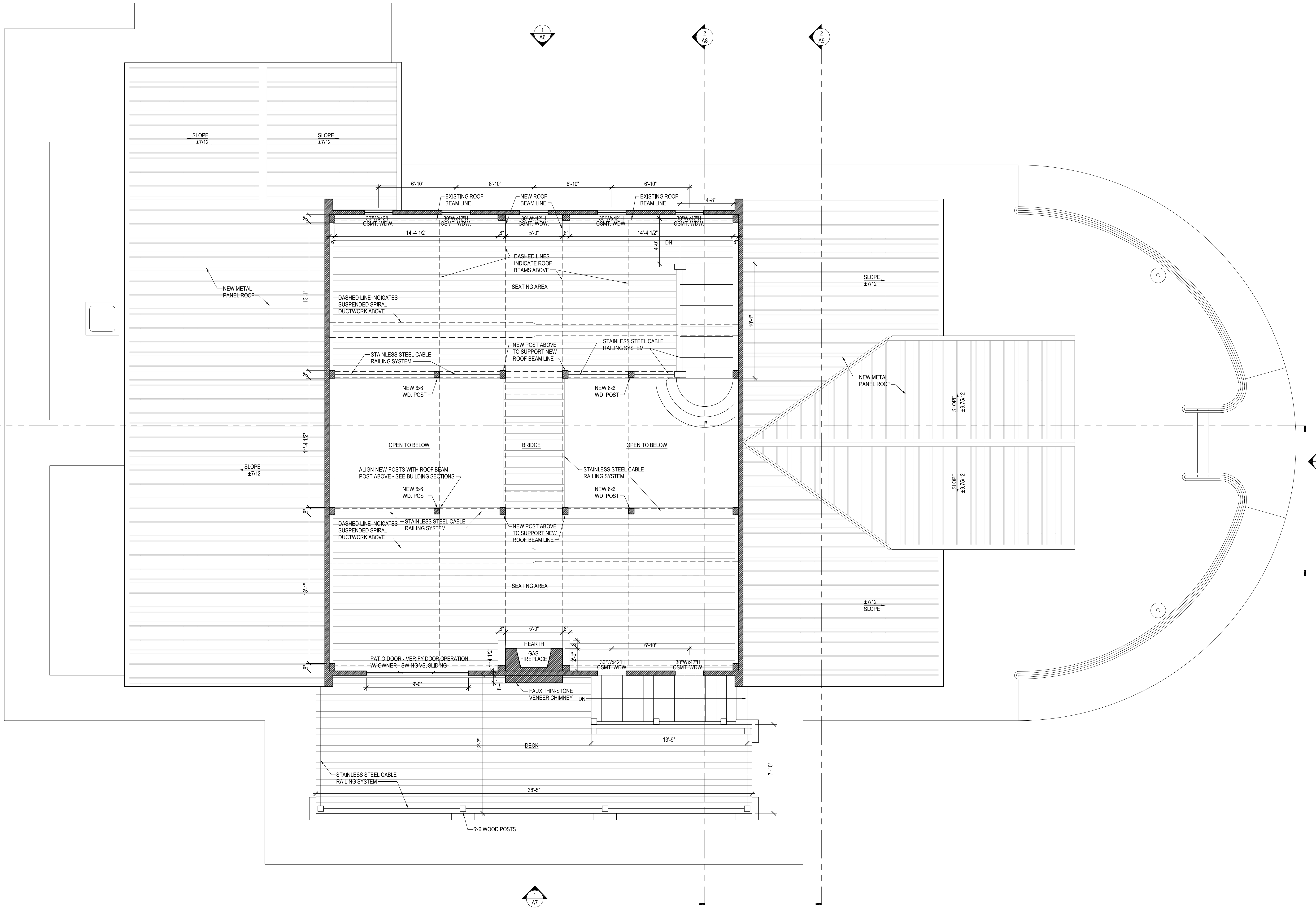
DESIGN LOADS

1. The building is designed in accordance with the 2006 International Building Code.

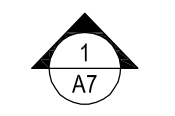
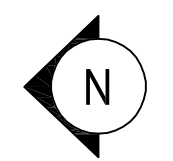
2. Design loads are as follows:
Roof: DL - 20 psf, LL 30 psf, (plus drifting snow loads)
Wind: 90 mph velocity, Exposure C, I = 1.0, Per 2006 IBC
Seismic: Ss = .25, S1 = .12, Seismic Use Group I, Ie = 1.0, Site Class D, Sds = 0.267, Sd1 = 0.185, Seismic Design Category C, Lateral Force Resisting System: Masonry Walls

GENERAL NOTES:

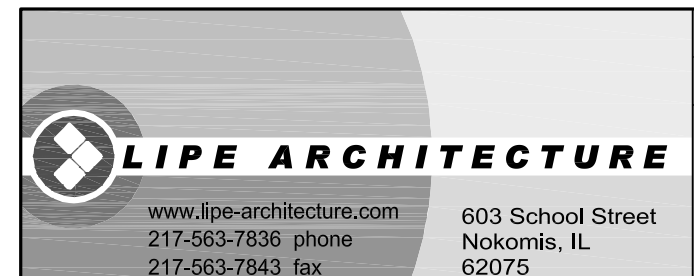
ELECTRICAL POWER & LIGHTING DESIGN TO BE DETERMINED BY ELECTRICAL CONTRACTOR
HEATING & COOLING SYSTEM TO BE DETERMINED BY HVAC CONTRACTOR
CONSULT WITH OWNER FOR FINAL MATERIAL, FINISH, CASEWORK & EQUIPMENT SELECTIONS



1
A5
2ND FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

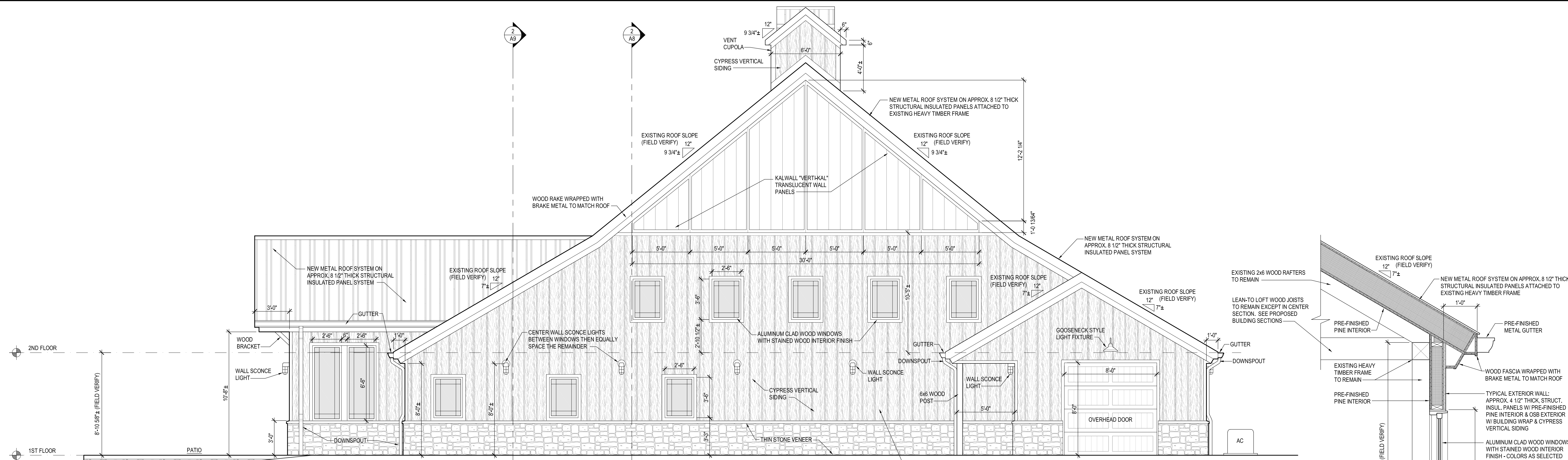


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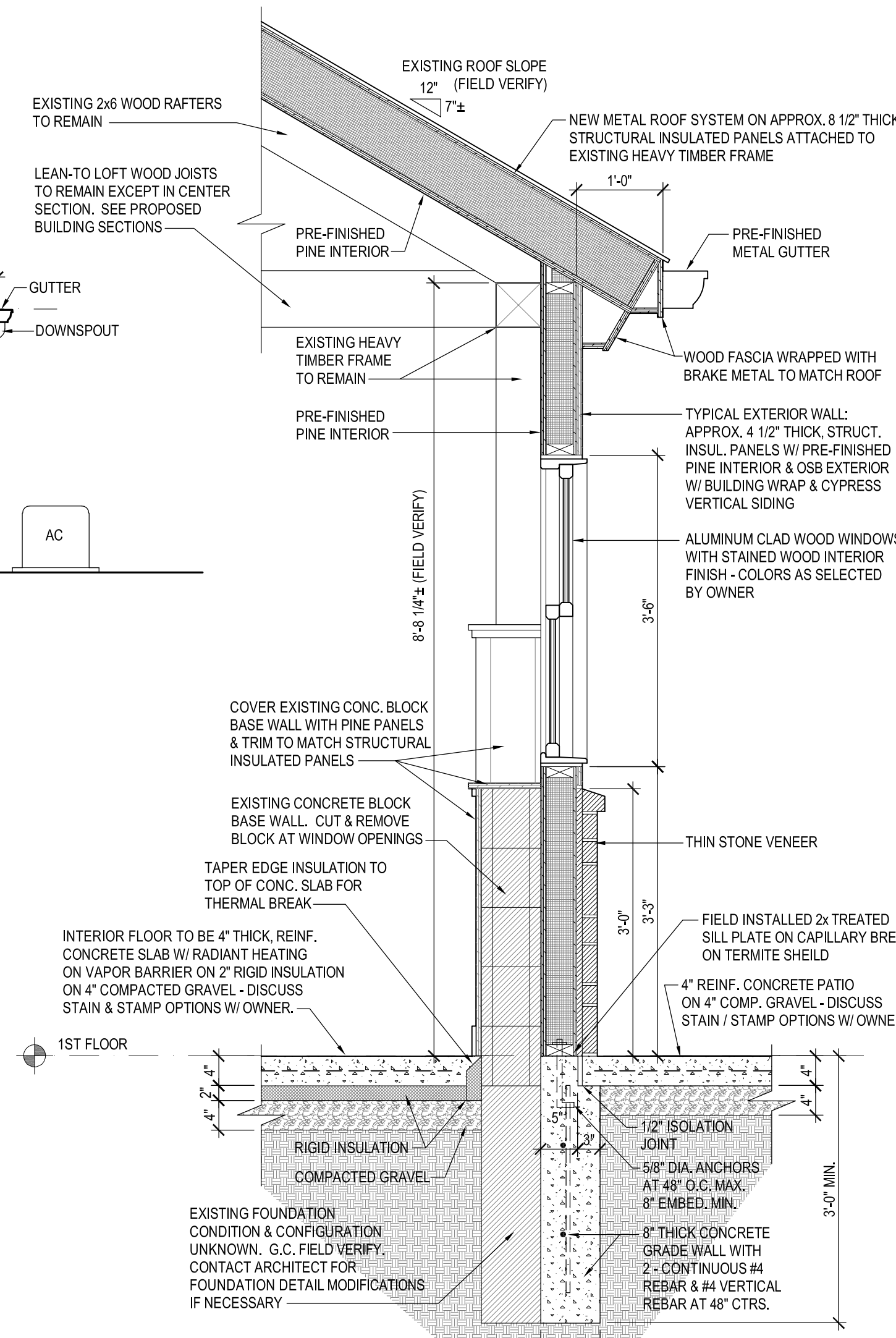


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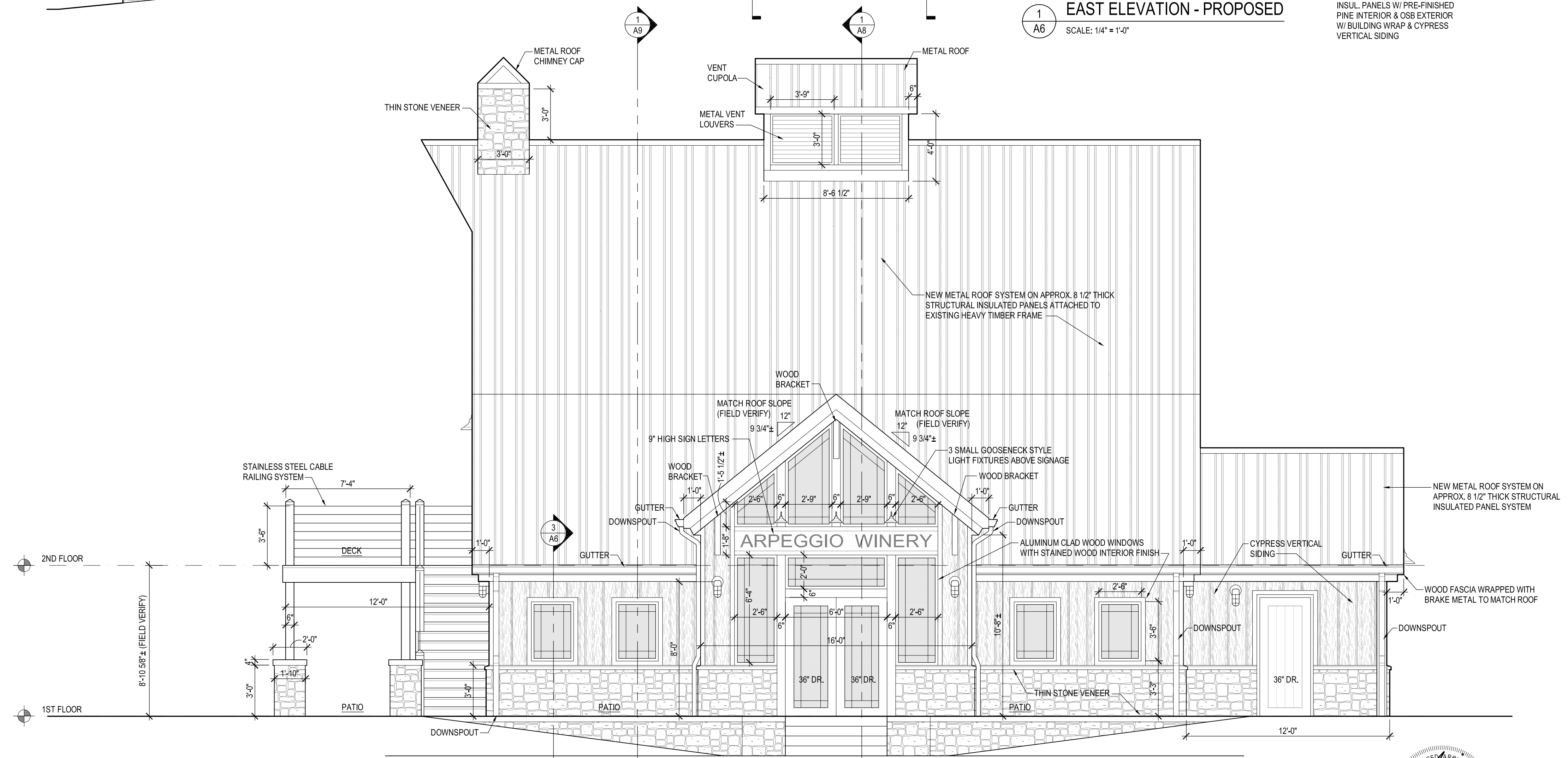
2ND FLOOR PLAN - PROPOSED	PROJ. NO.: 1313
	DATE: 06-09-13
Arpeggio Winery - Barn Renovation	
778 N Hwy 51, Pana, IL 62557	
A5	



1 EAST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

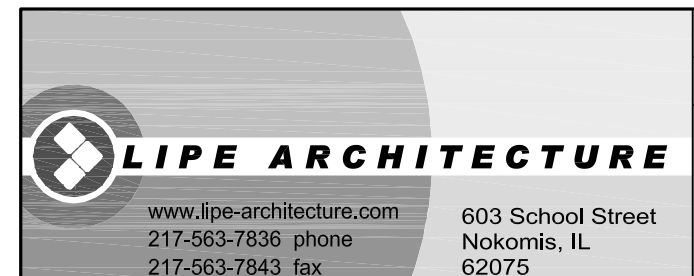
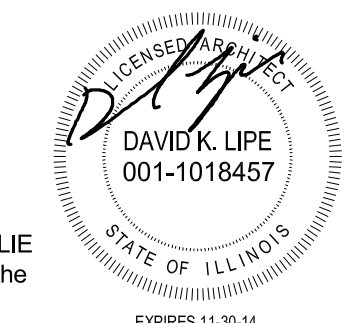


3 WALL SECTION
SCALE: 3/4" = 1'-0"



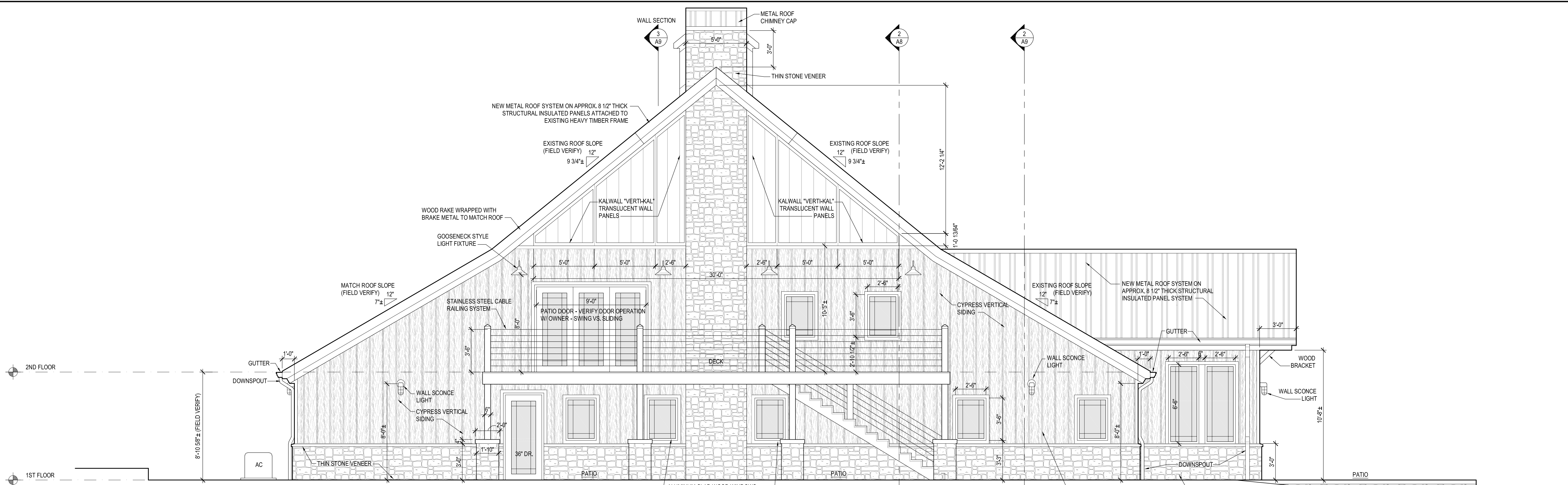
2 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

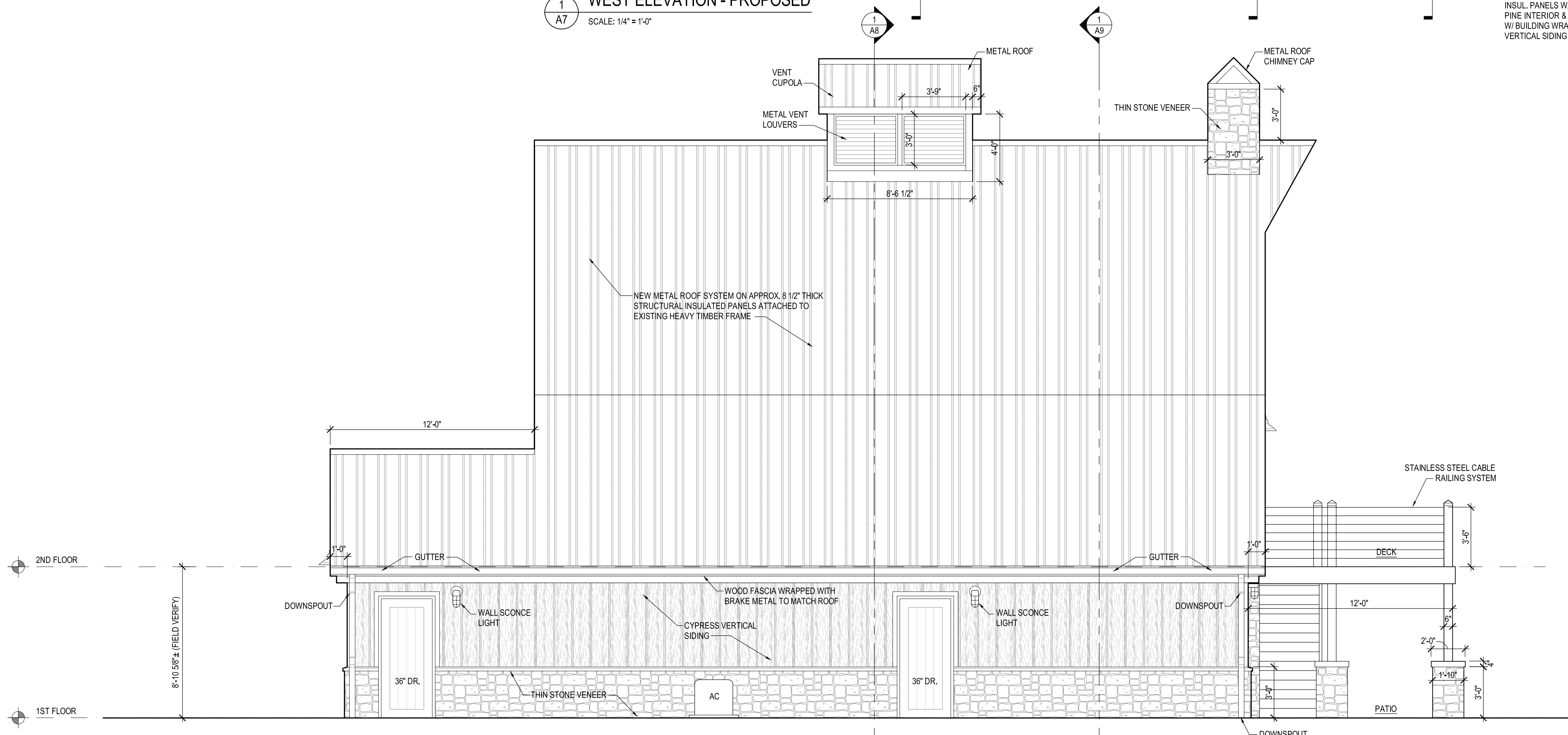


EXTERIOR ELEVATIONS - PROPOSED	PROJ. NO.: 1313
Arpeggio Winery - Barn Renovation	DATE: 06-09-13
778 N Hwy 51, Pana, IL 62557	A6

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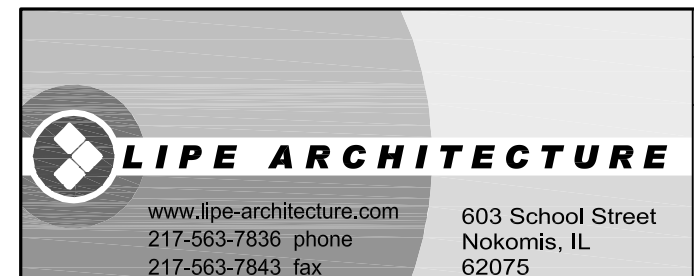
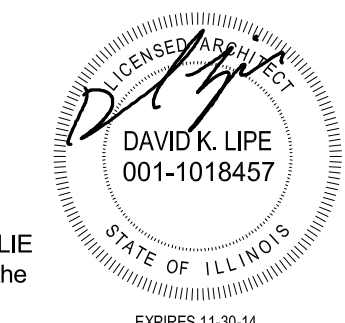
1 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR WALL:
APPROX. 4 1/2" THICK, STRUCT.
INSUL. PANELS W/ PRE-FINISHED
PINE INTERIOR & OSB EXTERIOR
W/ BUILDING WRAP & CYPRESS
VERTICAL SIDING

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

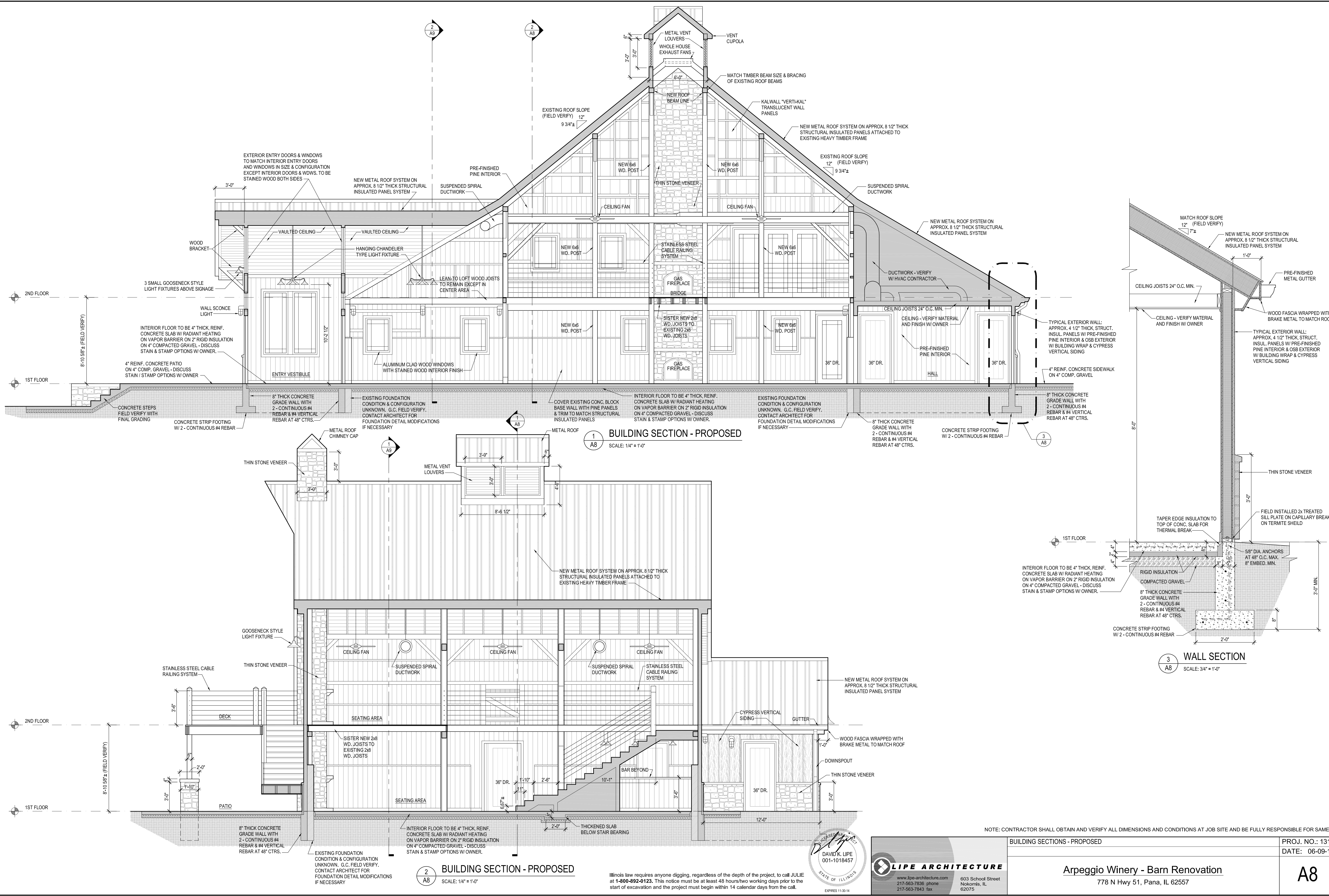


EXTERIOR ELEVATIONS - PROPOSED	PROJ. NO.: 1313
	DATE: 06-09-13

Arpeggio Winery - Barn Renovation
778 N Hwy 51, Pana, IL 62557

A7

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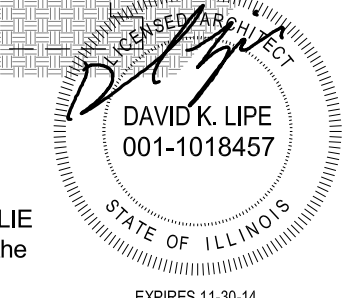


BUILDING SECTION - PROPOSED
SCALE: 1/4" = 1'-0"

WALL SECTION
SCALE: 3/4" = 1'-0"

BUILDING SECTION - PROPOSED
SCALE: 1/4" = 1'-0"

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

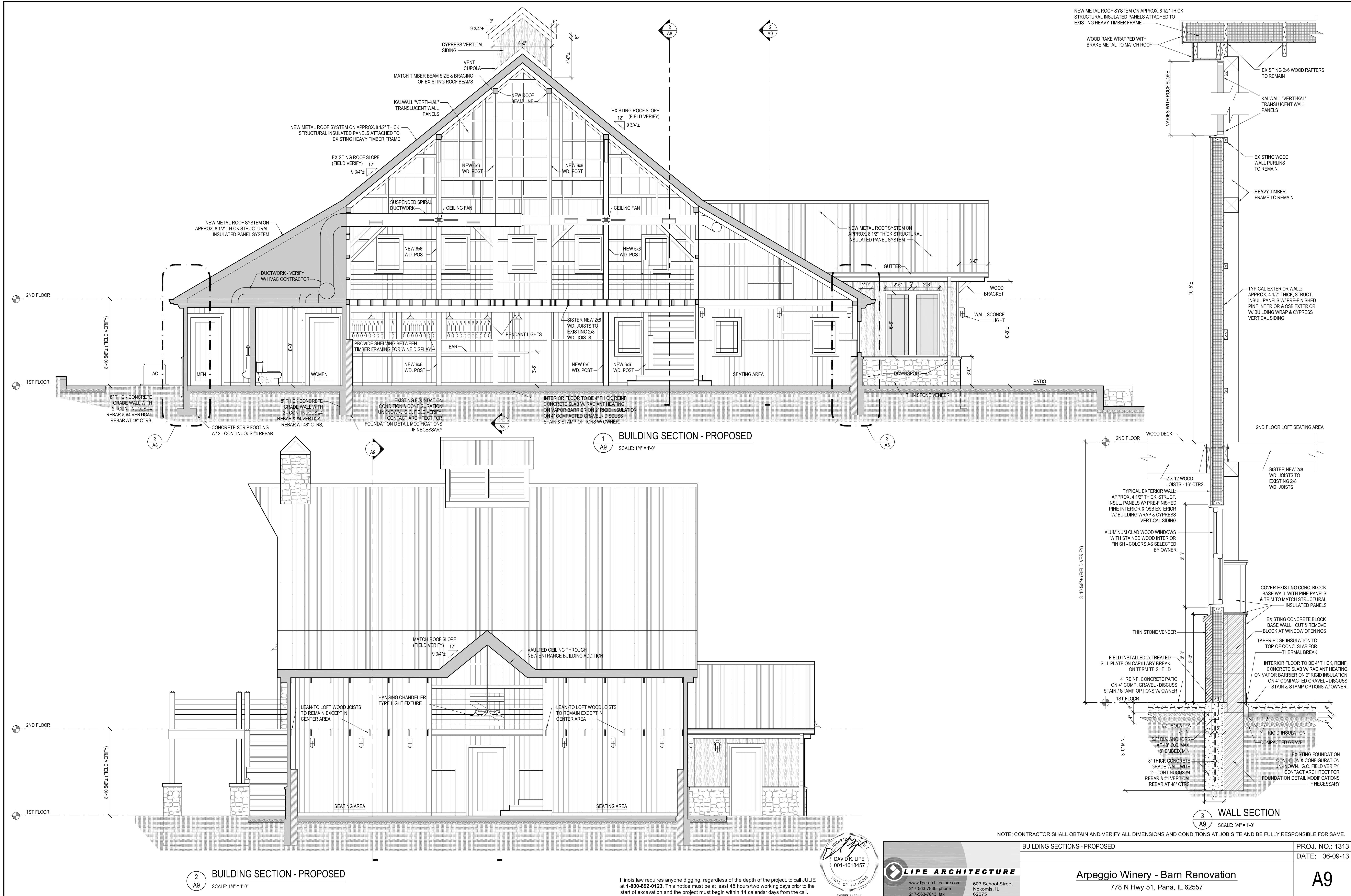


LIPE ARCHITECTURE
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217-563-7843 fax
603 School Street
Nokomis, IL
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BUILDING SECTIONS - PROPOSED	PROJ. NO.: 1313
Arpeggio Winery - Barn Renovation	DATE: 06-09-13
778 N Hwy 51, Pana, IL 62557	A8

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EXPRES 11-30-14



BUILDING SECTION - PROPOSED
 SCALE: 1/4" = 1'-0"

WALL SECTION
 SCALE: 3/4" = 1'-0"

BUILDING SECTION - PROPOSED
 SCALE: 1/4" = 1'-0"

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BUILDING SECTIONS - PROPOSED	PROJ. NO.: 1313
	DATE: 06-09-13

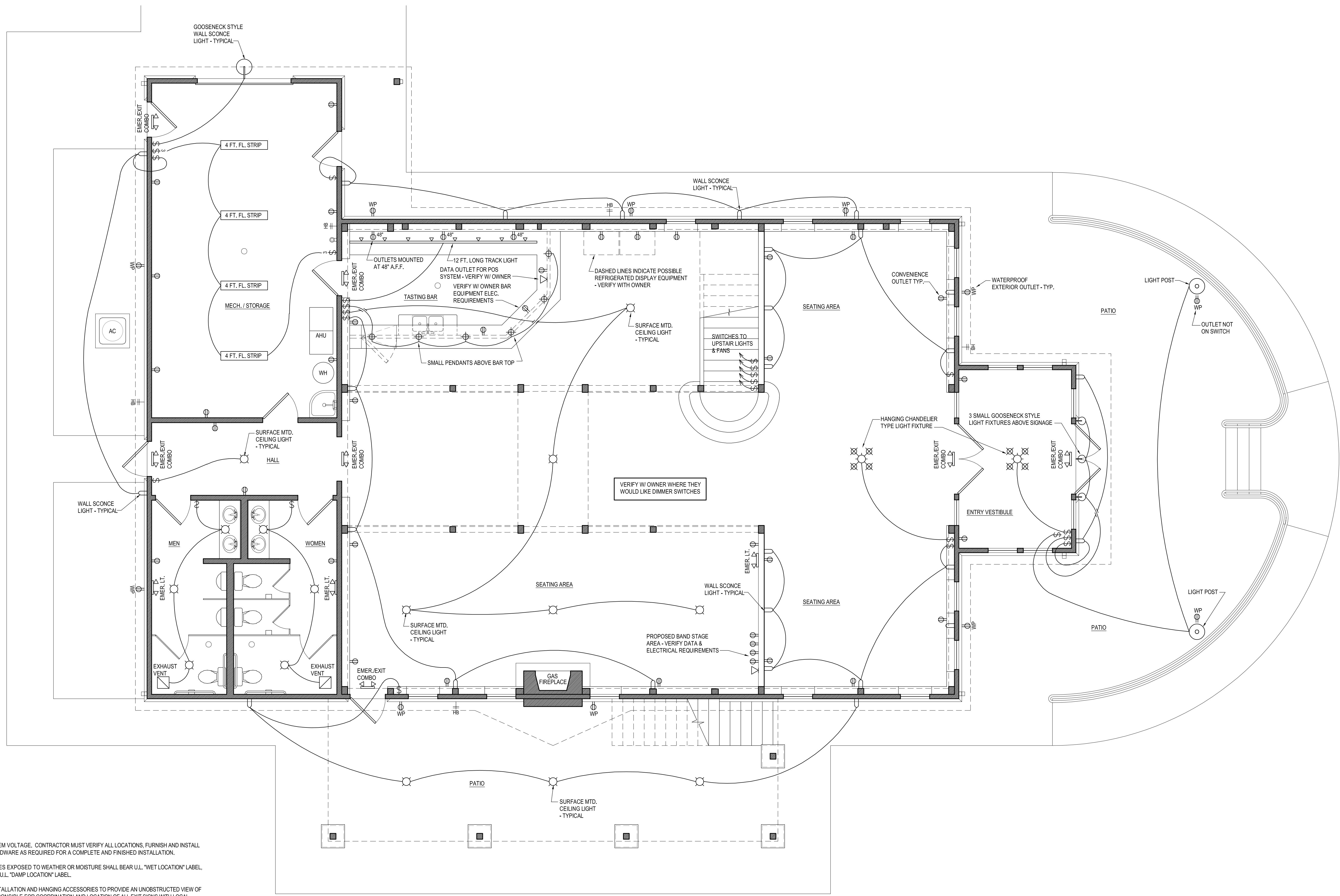


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A9

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GENERAL ELECTRICAL NOTES:

ALL LIGHTING FIXTURES SHALL BE RATED FOR BUILDING SYSTEM VOLTAGE. CONTRACTOR MUST VERIFY ALL LOCATIONS, FURNISH AND INSTALL EACH LIGHTING FIXTURE WITH INSTALLATION AND HANGING HARDWARE AS REQUIRED FOR A COMPLETE AND FINISHED INSTALLATION.

ALL FIXTURES SHALL BE "UL" LABELED. ALL LIGHTING FIXTURES EXPOSED TO WEATHER OR MOISTURE SHALL BEAR UL "WET LOCATION" LABEL, AND LIGHTING FIXTURES EXPOSED TO DAMPNESS SHALL BEAR UL "DAMP LOCATION" LABEL.

ALL EXIT SIGNS SHALL BE INSTALLED COMPLETE WITH ALL INSTALLATION AND HANGING ACCESSORIES TO PROVIDE AN UNOBSTRUCTED VIEW OF EACH SIGN FACE AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND LOCATION OF ALL EXIT SIGNS WITH LOCAL AUTHORITIES. MOUNT SIGNS AT MAXIMUM 8'-0" IN HIGH CEILING AREA.

ALL EXIT SIGNS AND BATTERY EMERGENCY UNITS MUST BE APPROVED BY LOCAL CODE, AND MAINTAIN A MINIMUM OF 90 MINUTES OF CONTINUOUS ILLUMINATION.

ELECTRICAL CONTRACTOR SHALL VERIFY TOTAL CONNECTED LOADS AND HORSE POWER WITH OTHER TRADES CONTRACTORS PRIOR TO WIRING OF ALL EQUIPMENT.

CONTRACTOR SHALL VERIFY ALL EQUIPMENT LOCATIONS WITH OWNER PRIOR TO MAKING THE ACTUAL ELECTRICAL INSTALLATION.

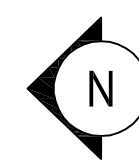
ALL WIRING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE "NEC" AND LOCAL CODE AUTHORITIES HAVING JURISDICTION.

CONTRACTOR TO WIRE ALL HVAC CONTROL DEVICES AND COORDINATE WITH OTHERS.

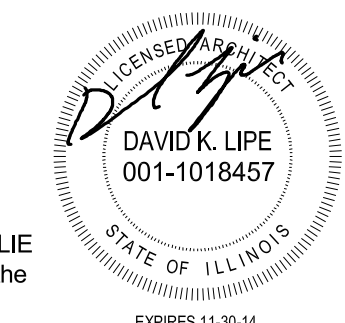
ALL EXPOSED WIRING SHALL BE CONTAINED IN CONDUIT OF PROPER SIZE.

ELECTRICAL PANEL TO BE LABELED CORRECTLY WITH LEGIBLE PRINT.

1 1ST FLOOR PLAN - ELECTRICAL
SCALE: 1/4" = 1'-0"



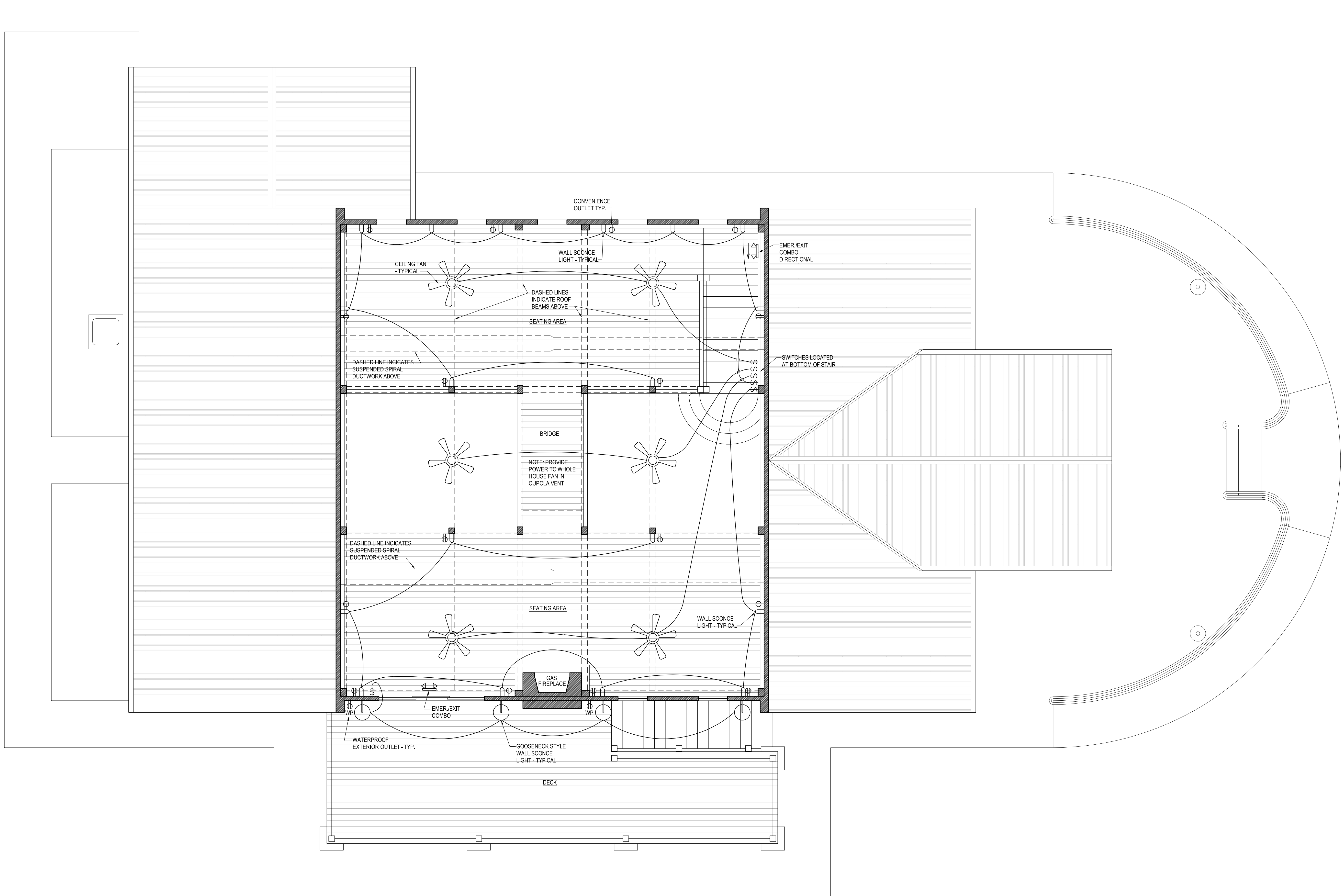
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1ST FLOOR PLAN - ELECTRICAL	PROJ. NO.: 1313
	DATE: 06-09-13
Arpeggio Winery - Barn Renovation	
778 N Hwy 51, Pana, IL 62557	
E1	

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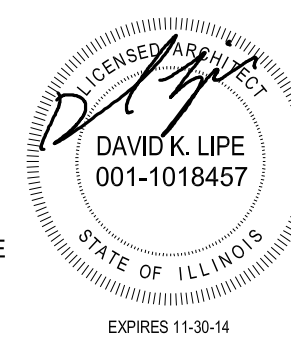


1
E2
2ND FLOOR PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"



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NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

2ND FLOOR PLAN - ELECTRICAL	PROJ. NO.: 1313
	DATE: 06-09-13
Arpeggio Winery - Barn Renovation	
778 N Hwy 51, Pana, IL 62557	
E2	